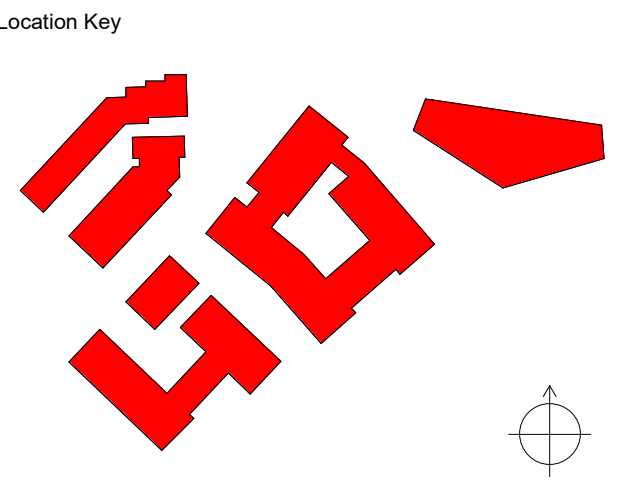


Notes & Key

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING.  
CONTRACTORS TO NOTIFY ARCHITECTS OF SITE VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.  
THIS DRAWING IS COPYRIGHT OF GLENN HOWELLS ARCHITECTS.

- KEY
- Site Ownership Boundary
  - Other land under control of the applicant

Revisions			
Date	Rev	By	Description
30/11/2021	P01	MJW	Issued for Planning.
25/04/2022	P02	MJW	Revised planning submission following meetings with CCC.

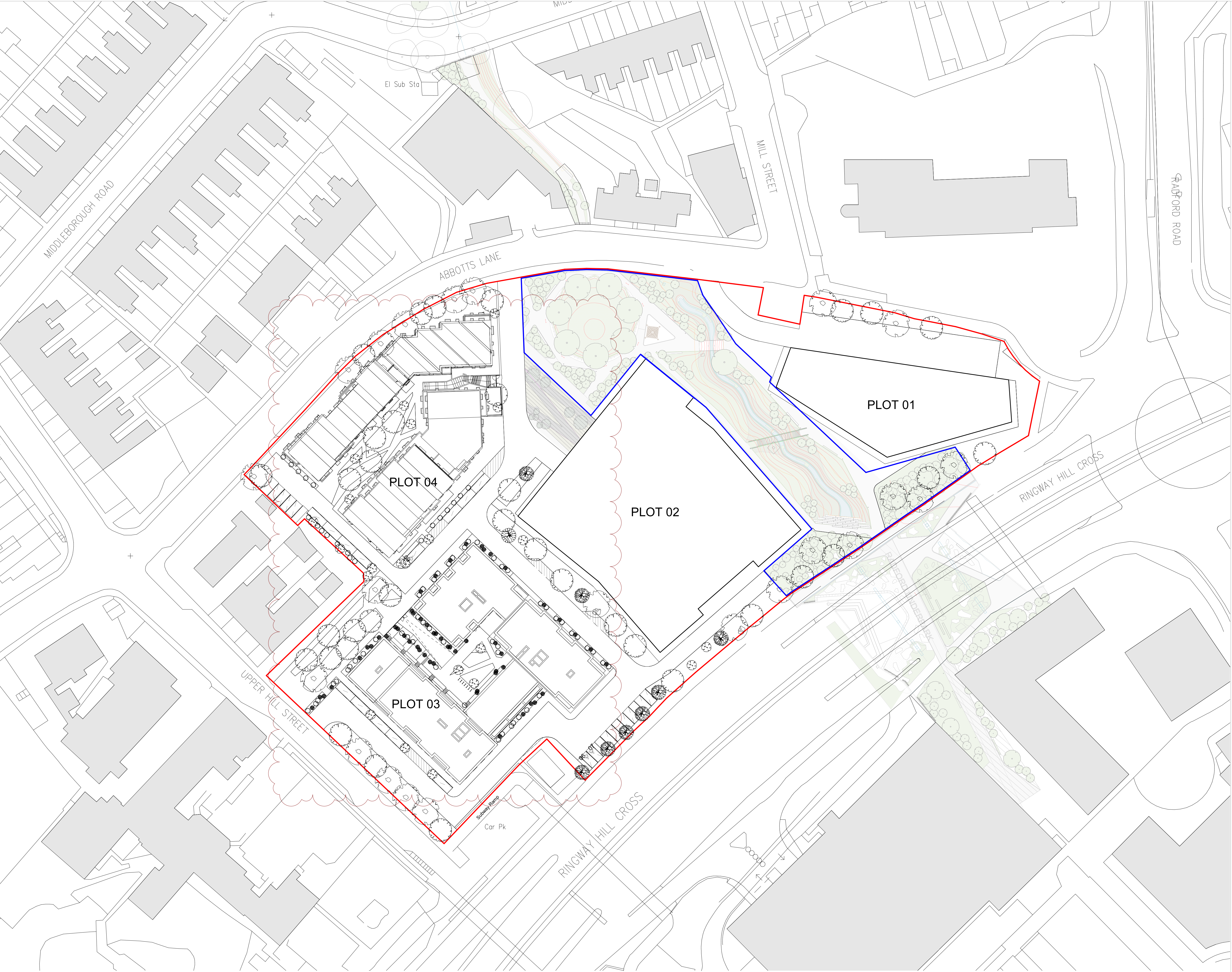


## PLANNING

Project	GHA No.
Abbotts Lane	2298
Client	
CDP	

Drawing Title	
Proposed Site Location Plan	
Drawing No.	Revision
2298-GHA-ZZ-ZZ-DR-A-(10)0001	P02
Scale	Date
Scale - 1 : 1000@A1	SEP.21
Checked	
MJW	

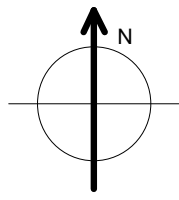




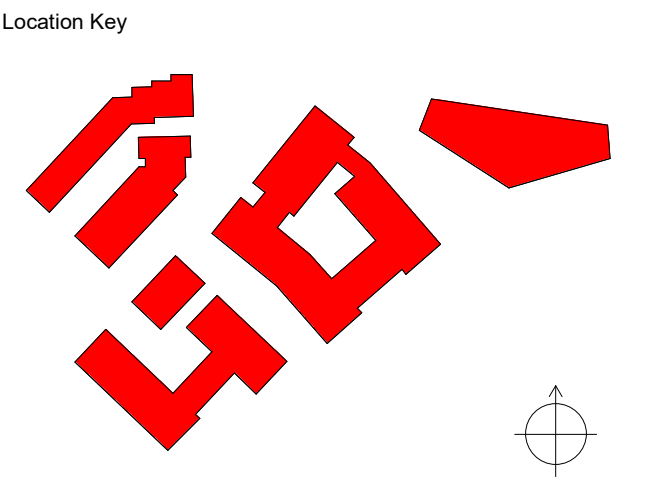
Notes & Key

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING.  
CONTRACTORS TO NOTIFY ARCHITECTS OF SITE  
VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.  
THIS DRAWING IS COPYRIGHT OF GLENN HOWELLS  
ARCHITECTS.

- KEY
- Site Ownership Boundary
  - Other Land under control of the applicant
  - Existing Buildings



Revisions			
Date	Rev	By	Description
30/11/2021	P01	MJW	Issued for Planning.
25/04/2022	P02	MJW	Revised planning submission following meetings with CCC.



## PLANNING

Project	GHA No.
Abbotts Lane	2298
Client	
CDP	

Drawing Title	
Proposed Site Plan	
Drawing No.	Revision
2298-GHA-ZZ-ZZ-DR-A-(10)0002	P02
Scale	Date
Scale - 1 : 500@A1	SEP.21
	Checked
	MJW





- KEY**
- Site Boundary Line
  - Existing trees to be removed
  - 1 Bedroom Apartments
  - 2 Bedroom Apartments
  - 3 Bedroom Apartments
  - Townhouses

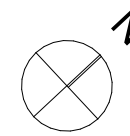
**PLOT 3 DETAIL**  
**BY GLENN HOWELLS ARCHITECTS**

**PLOT 2 OUTLINE**  
**BY GLENN HOWELLS ARCHITECTS**

P3	PLANNING ISSUE	23/08/2022
P2	PLANNING ISSUE	02/05/2022
P1	PLANNING ISSUE	29/11/2021
RevID	Change Description	Issue Date

Abbotts Lane Coventry		
Plot 4 - Proposed GF Plan ( Level 0)		
drawing 2493.1001	revision P3	status PLANNING
scale 1:150 @ A1	drawn IDLP	

3 Mary Street Birmingham B3 1UD  
0121 231 1916  
m.h@bryanjonesstewart.com  
www.bryanjonesstewart.com



**BPN ARCHITECTS**

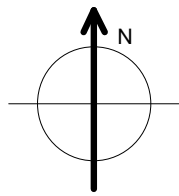




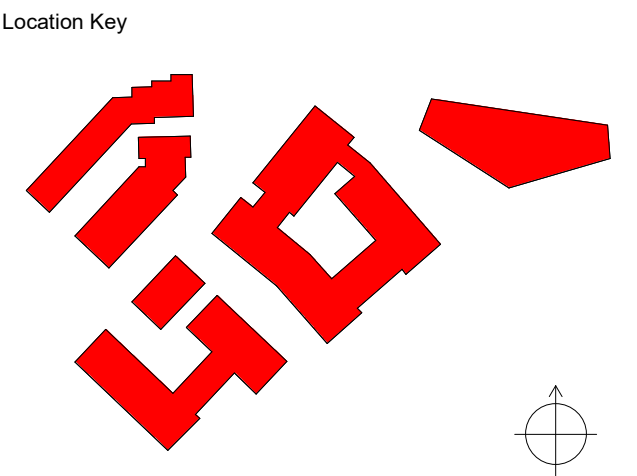
Notes & Key

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING.  
CONTRACTORS TO NOTIFY ARCHITECTS OF SITE VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.  
THIS DRAWING IS COPYRIGHT OF GLENN HOWELLS ARCHITECTS.

- Key
- 1 Bedroom Unit
  - 2 Bedroom Unit
  - 3 Bedroom Unit
  - Commercial
  - Cycle Store
  - Refuse
  - Entrance
  - Plant / Substation / Car Park



Revisions			
Date	Rev	By	Description
30/11/2021	P01	MJW	Issued for Planning.
02/12/2021	P02	MJW	Minor graphical errors amended.
25/04/2022	P03	MJW	Revised planning submission following meetings with CCC.
11/08/2022	P04	MJW	Issued to capture changes to car parking spaces.
06/09/2022	P05	MJW	Issued to capture changes to car parking spaces.
12/09/2022	P06	MJW	Issued to capture changes to car parking spaces.
15/09/2022	P07	MJW	Issued to capture changes to car parking spaces.



## PLANNING

Project	GHA No.
Abbotts Lane	2298
Client	
CDP	

Drawing Title	
GF GA Plan	
Drawing No.	Revision
2298-GHA-ZZ-00-DR-A-(05)0100	P07
Scale	Date
Scale - 1 : 500@A1	SEP.21
Checked	
RK	



Key

- 1 Red brick facade in English Bond with light buff mortar;  
1a 45mm projecting red brick in stack bond with light buff mortar;  
1b 45mm projecting header red bricks in bespoke pattern;  
1c 65mm recessed red brick panels in stack bond to window / door heads;
- 2 Red brick facade in English Bond with light buff mortar; red brick to be a darker shade to contrast;  
2a 65mm recessed red brick panels in stack bond to window / door heads; red brick to be a darker shade;
- 3 Anodised aluminium solid doors (with or without side panels) in bronze;  
3a Anodised aluminium fully glazed door and side panel in bronze;
- 4 Anodised aluminium window with openable light in bronze; with deep brick window reveals;  
4a Anodised aluminium window with openable side light in bronze; with deep metal window reveals;  
4b Anodised aluminium fixed window in bronze; with projecting deep metal window reveals;  
4c Anodised aluminium corner window in bronze; with projecting deep metal window reveals;  
4d Angled oriel window in anodised aluminium bronze;
- 5 Anodised aluminium louvered double doors in bronze;
- 6 Anodised aluminium balustrade in bronze;
- 7 Standing seam roof  
7a Skylights
- 8 Anodised aluminium gates in bronze;
- 9 2m tall galvanised palisade fence;
- 10 New full height facing brick wall to no. 58 - 64 Upper Hill Street;
- 10a New half height facing brick wall to no. 58 - 64 Upper Hill Street;
- 11 Bespoke signage;
- 12 Existing red sandstone wall along Abbotts Lane as boundary treatment;
- 13 New retaining wall to match existing red sandstone wall;
- 14 Anodised aluminium panels in bronze



P3	PLANNING ISSUE	23/08/2022
P2	PLANNING ISSUE	02/05/2022
P1	PLANNING ISSUE	29/11/2021
RevID	Change Description	Issue Date

Abbotts Lane  
Coventry

Plot 4 - Courtyard Elevation (3 of 3)

drawing	revision	status
2493.2007	P3	PLANNING
scale	date	drawn
1:150 @ A1		IDLP

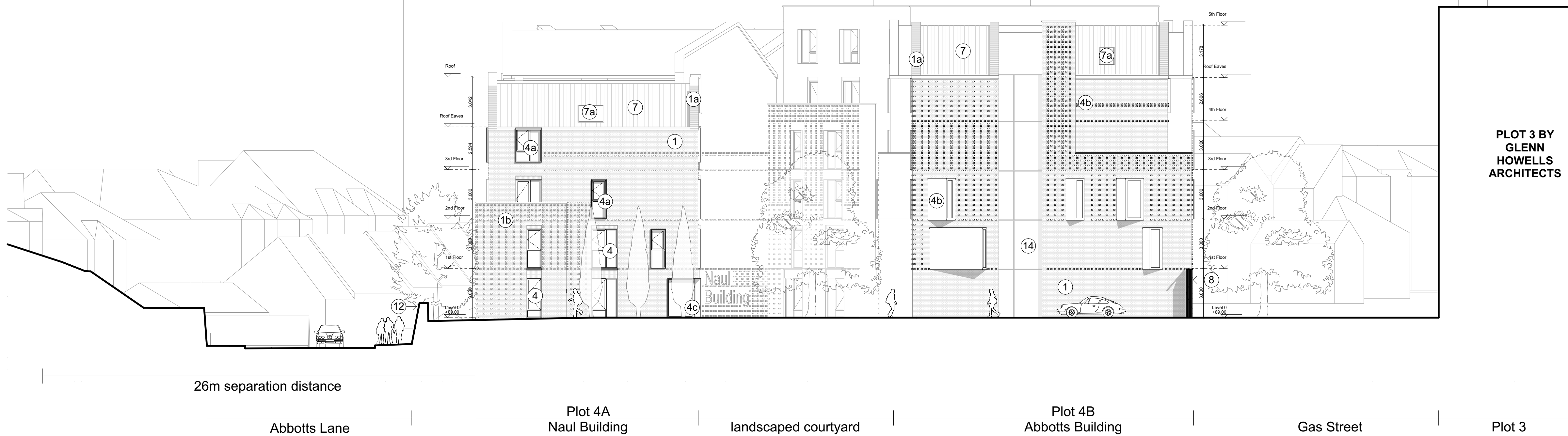
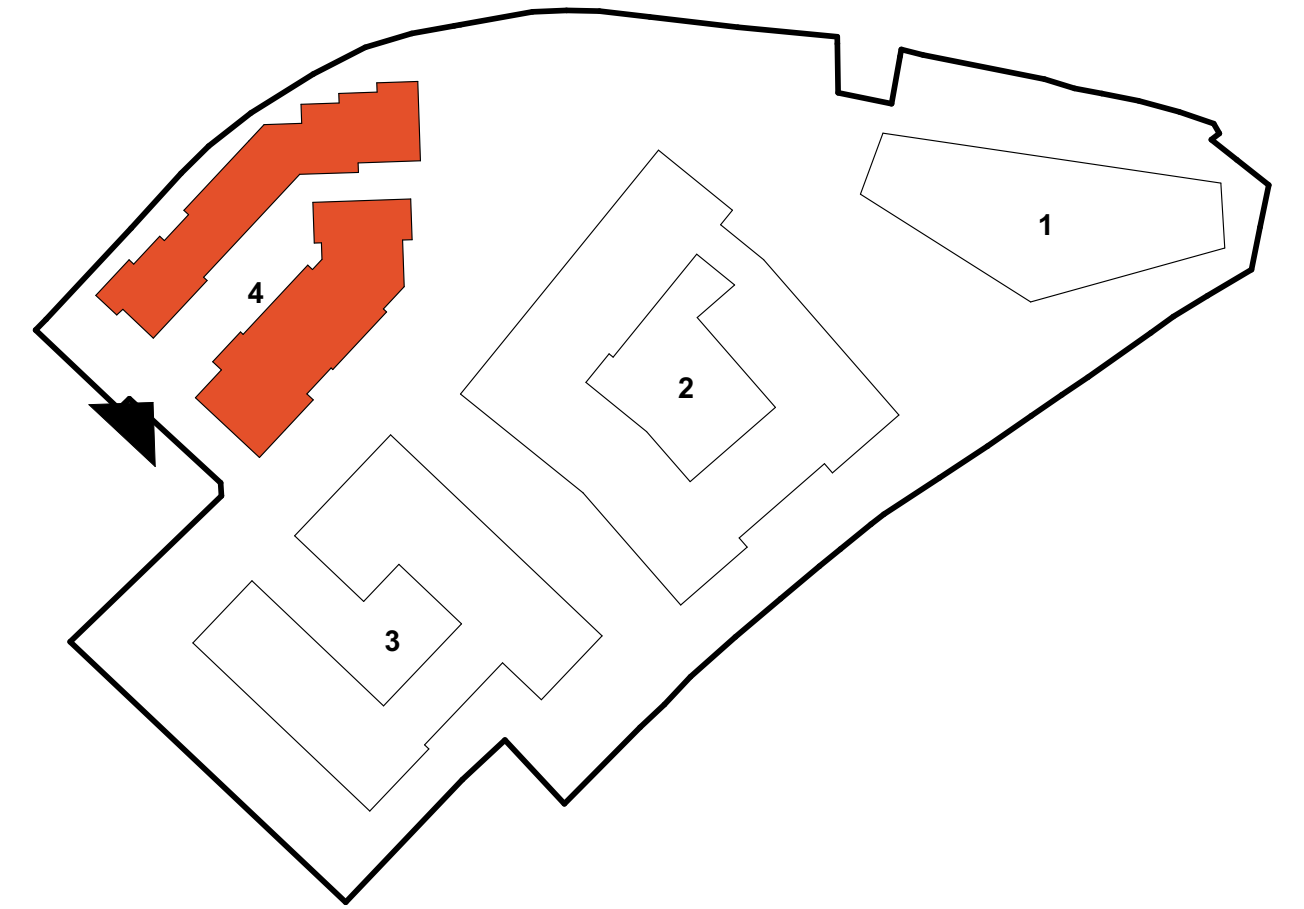
BPN ARCHITECTS

3 Mary Street Birmingham B3 1UD  
0121 231 1916  
mail@bryonprestremman.com  
www.bryonprestremman.com



### Key

- Red brick facade in English Bond with light buff mortar;
- 1a 45mm projecting red brick in stack bond with light buff mortar;
- 1b 45mm projecting header red bricks in bespoke pattern;
- 1c 65mm recessed red brick panels in stack bond to window / door heads;
- 2 Red brick facade in English Bond with light buff mortar; red brick to be a darker shade to
- 2a 65mm recessed red brick panels in stack bond to window / door heads; red brick to be a
- 3 Anodised aluminium solid doors (with or without side panels) in bronze;
- 3a Anodised aluminium fully glazed door and side panel in bronze;
- 4 Anodised aluminium window with openable light in bronze; with deep brick window reveal
- 4a Anodised aluminium window with openable side light in bronze; with deep metal window
- 4b Anodised aluminium fixed window in bronze; with projecting deep metal window reveals;
- 4c Anodised aluminium corner window in bronze; with projecting deep metal window reveal
- 4d Angled oriel window in anodised aluminium bronze;
- 5 Anodised aluminium louvered double doors in bronze;
- 6 Anodised aluminium balustrade in bronze;
- 7 Standing seam roof
- 7a Skylights
- 8 Anodised aluminium gates in bronze;
- 9 2m tall galvanised palisade fence;
- 10 New full height facing brick wall to no. 58 - 64 Upper Hill Street;
- 10a New half height facing brick wall to no. 58 - 64 Upper Hill Street;
- 11 Bespoke signage;
- 12 Existing red sandstone wall along Abbotts Lane as boundary treatment;
- 13 New retaining wall to match existing red sandstone wall;
- 14 Anodised aluminium panels in bronze



P3	PLANNING ISSUE	23/08/2022
P2	PLANNING ISSUE	02/05/2022
P1	PLANNING ISSUE	29/11/2021
RevID	Change Description	Issue Date

Revisions

Abbotts Lane  
Coventry

### Plot 4 - Gable Elevation

drawing	revision	status
<b>2493.2004</b>	<b>P3</b>	<b>PLANNING</b>
scale	drch	
1:150 @ A1	ID/LP	

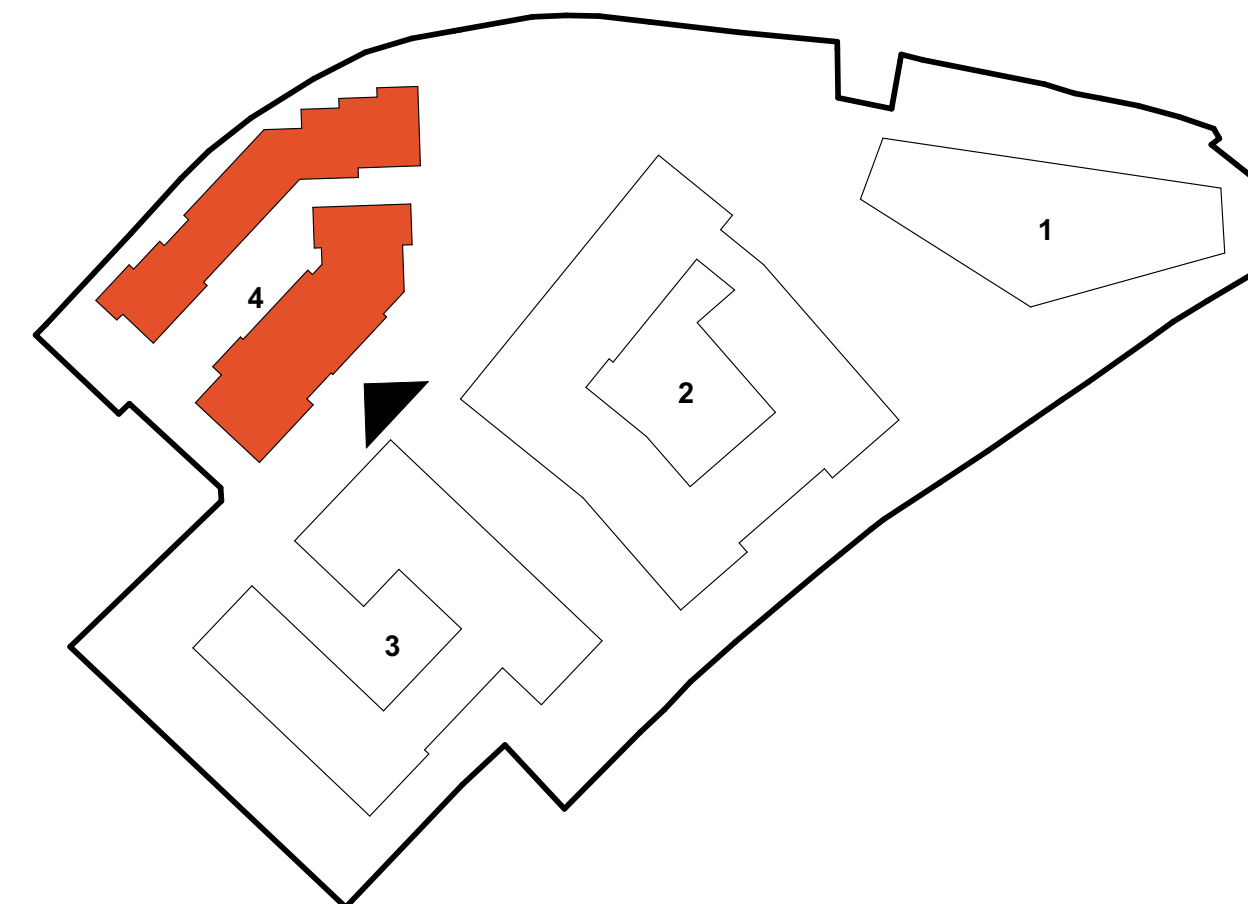
**BPN ARCHITECTS**

3 Mary Street Birmingham B3 1UD  
0121 233 1818  
mail@bryanpriestnewman.com  
www.bryanpriestnewman.com



### Key

- 1 Red brick facade in English Bond with light buff mortar;
- 1a 45mm projecting red brick in stack bond with light buff mortar;
- 1b 45mm projecting header red bricks in bespoke pattern;
- 1c 65mm recessed red brick panels in stack bond to window / door heads;
- 2 Red brick facade in English Bond with light buff mortar; red brick to be a darker shade to contrast;
- 2a 65mm recessed red brick panels in stack bond to window / door heads; red brick to be a darker shade;
- 3 Anodised aluminium solid doors (with or without side panels) in bronze;
- 3a Anodised aluminium fully glazed door and side panel in bronze;
- 4 Anodised aluminium window with openable light in bronze; with deep brick window reveals;
- 4a Anodised aluminium window with openable side light in bronze; with deep metal window reveals;
- 4b Anodised aluminium fixed window in bronze; with projecting deep metal window reveals;
- 4c Anodised aluminium corner window in bronze; with projecting deep metal window reveals;
- 4d Angled oriel window in anodised aluminium bronze;
- 5 Anodised aluminium louvered double doors in bronze;
- 6 Anodised aluminium balustrade in bronze;
- 7 Standing seam roof
- 7a Skylights
- 8 Anodised aluminium gates in bronze;
- 9 2m tall galvanised palisade fence;
- 10 New full height facing brick wall to no. 58 - 64 Upper Hill Street;
- 10a New half height facing brick wall to no. 58 - 64 Upper Hill Street;
- 11 Bespoke signage;
- 12 Existing red sandstone wall along Abbotts Lane as boundary treatment;
- 13 New retaining wall to match existing red sandstone wall;
- 14 Anodised aluminium panels in bronze



P3	PLANNING ISSUE	23/08/2022
P2	PLANNING ISSUE	02/05/2022
P1	PLANNING ISSUE	29/11/2021
RevID	Change Description	Issue Date

Revisions

**Abbotts Lane  
Coventry**

### Plot 4 - New Gas Street Elevation

drawing	revision	status
<b>2493.2003</b>	<b>P3</b>	<b>PLANNING</b>
scale	drch	
1:150 @ A1	ID/LP	

**BPN ARCHITECTS**

3 Mary Street Birmingham B3 1UD  
0121 233 1818  
mail@bryanpriestnewman.com  
www.bryanpriestnewman.com





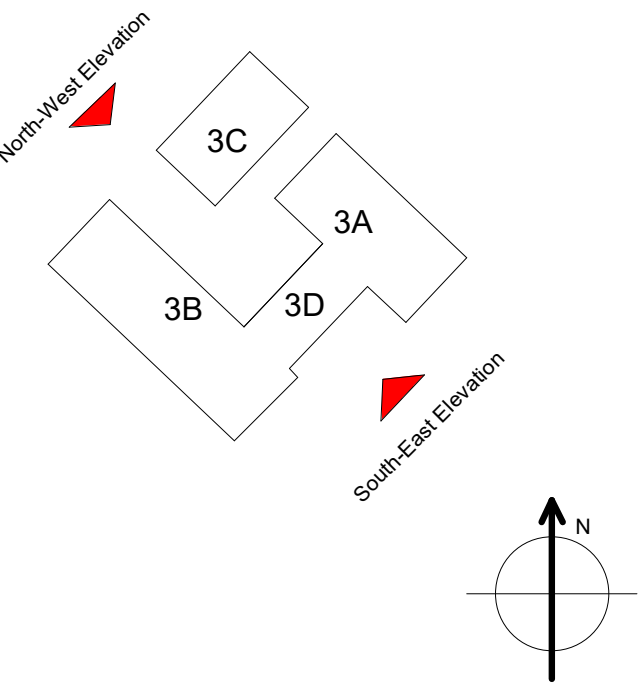
Elevation- Plot 03 South-East  
1 : 200



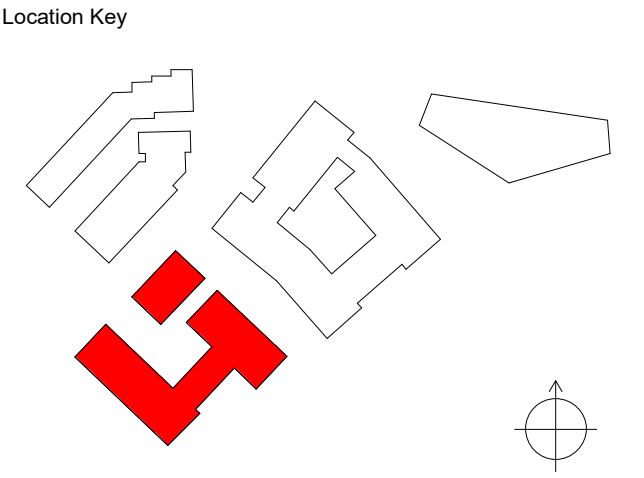
Elevation - Plot 03 North-West  
1 : 200

Notes & Key

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING.  
CONTRACTORS TO NOTIFY ARCHITECTS OF SITE  
VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.  
THIS DRAWING IS COPYRIGHT OF GLENN HOWELLS  
ARCHITECTS.



Revisions			
Date	Rev	By	Description
30/11/2021	P01	MJW	Issued for Planning.
09/05/2022	P02	MJW	Revised planning submission following meetings with CCC.



## PLANNING

Project	GHA No.
Abbotts Lane	2298
Client	
CDP	

Drawing Title	
Elevations (Sheet 1 of 2)	
Drawing No.	Revision
2298-GHA-Z3-ZZ-DR-A-(05)1200	P02
Scale	Date
Scale - 1 : 200@A1	NOV.21
Checked	
RK	





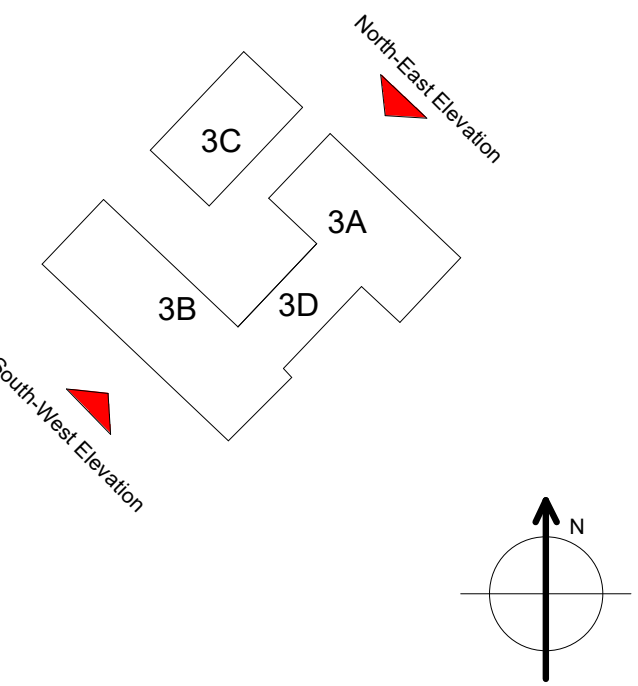
Elevation - Plot 03 North-East  
1 : 200



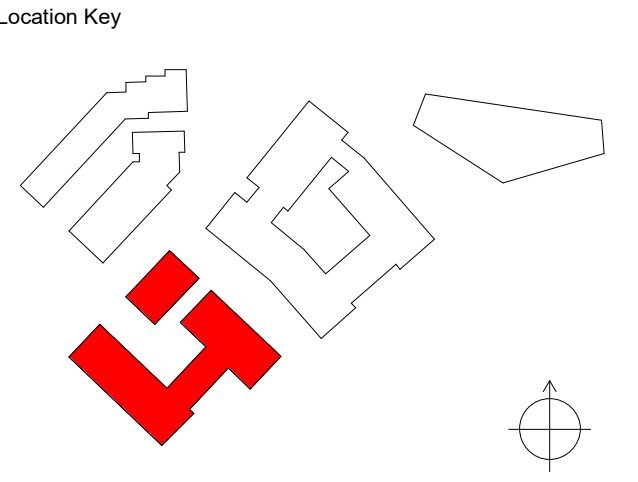
Elevation - Plot 03 South-West  
1 : 200

Notes & Key

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING.  
CONTRACTORS TO NOTIFY ARCHITECTS OF SITE  
VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.  
THIS DRAWING IS COPYRIGHT OF GLENN HOWELLS  
ARCHITECTS.



Revisions			
Date	Rev	By	Description
30/11/2021	P01	MJW	Issued for Planning.
09/05/2022	P02	MJW	Revised planning submission following meetings with CCC.



PLANNING

Project	GHA No.
Abbotts Lane	2298
Client	
CDP	

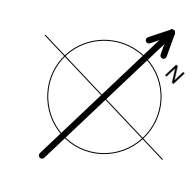
Drawing Title	
Elevations (Sheet 2 of 2)	
Drawing No.	Revision
2298-GHA-Z3-ZZ-DR-A-(05)1201	P02
Scale	Date
Scale - 1 : 200@A1	NOV.21
	Checked
	RK



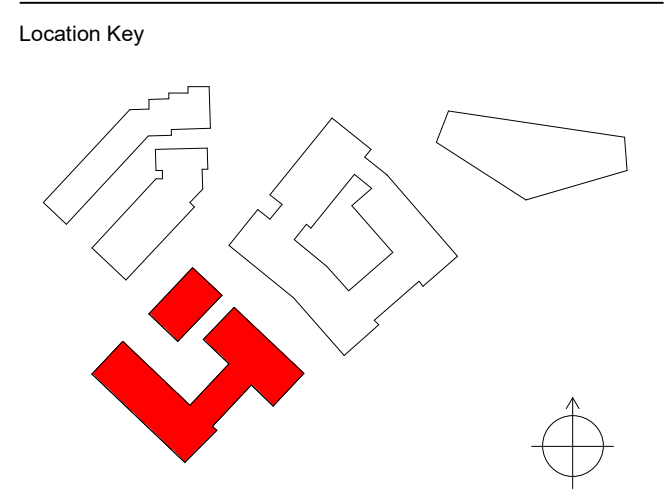


Due to the change in levels, these areas sit on L01 but have been shown on this drawing for completeness.

Notes & Key  
DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING.  
CONTRACTORS TO NOTIFY ARCHITECTS OF SITE VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.  
THIS DRAWING IS COPYRIGHT OF GLENN HOWELLS ARCHITECTS.



Revisions			
Date	Rev	By	Description
30/11/2021	P01	MJW	Issued for Planning.
02/12/2021	P02	MJW	Minor graphical errors amended.
25/04/2022	P03	MJW	Revised planning submission following meetings with CCC and unit names added.



## PLANNING

Project	GHA No.
Abbotts Lane	2298
Client	
CDP	

Drawing Title	
Plot 03 - L00 Ground	
Drawing No.	Revision
2298-GHA-Z3-00-DR-A-(05)0300	P03
Scale	Date
Scale - 1 : 100@A1	SEP.21
Checked	
RK	





Notes & Key

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING.  
CONTRACTORS NOT TO NOTIFY ARCHITECTS OF SITE VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.  
THIS DRAWING IS COPYRIGHT OF GLENN HOWELLS ARCHITECTS.

KEY

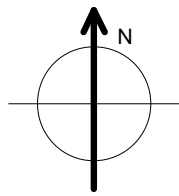
Detailed Boundary

Phase One - Detail

Phase Two - Outline

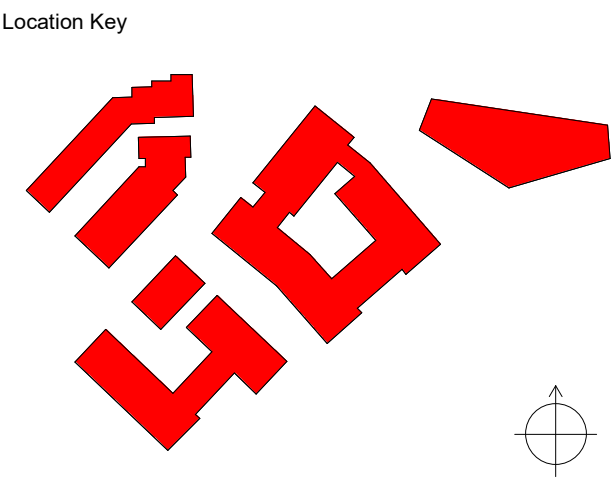
Phasing Areas

Phase One	10,100 m <sup>2</sup>
Phase Two	8,950 m <sup>2</sup>
Total	19,050 m <sup>2</sup>



Revisions

Date	Rev	By	Description
30/11/2021	P01	MJW	Issued for Planning.

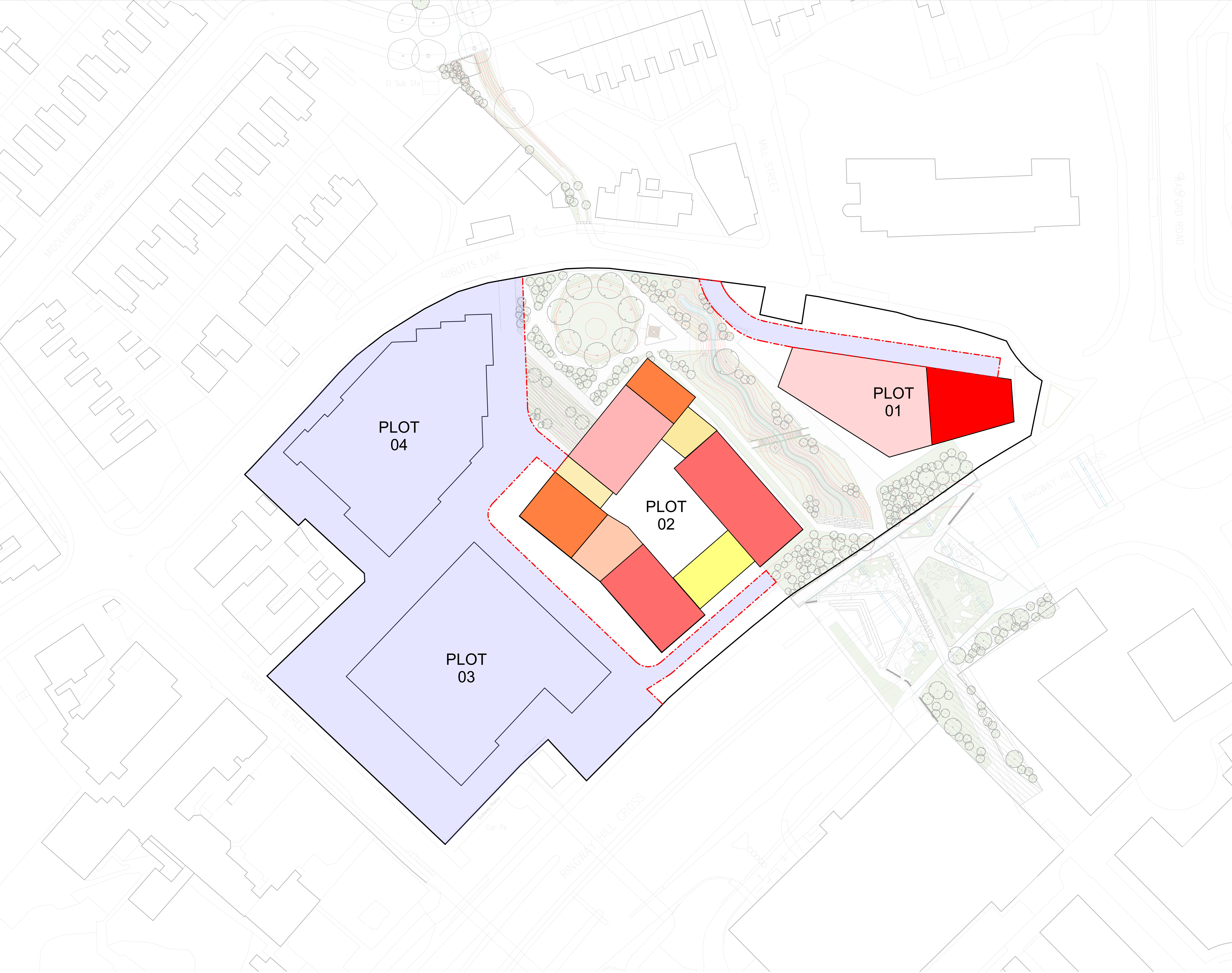


## PLANNING

Project	GHA No.
Abbotts Lane	2298
Client	
CDP	

Drawing Title	
Parameter Plan 01 - Phasing & Plot Plan	
Drawing No.	Revision
2298-GHA-ZZ-ZZ-DR-A-(05)0001	P01
Scale	Date
Scale - 1 : 500@A1	SEP.21
	Checked
	MJW





Notes & Key

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING.  
CONTRACTORS NOT TO NOTIFY ARCHITECTS OF SITE VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.  
THIS DRAWING IS COPYRIGHT OF GLENN HOWELLS ARCHITECTS.

KEY

--- Application Red Line Boundary

Phase One - Detail

Max Height - 148.0 m  
Min Height - 136.0 m

Max Height - 129.1 m  
Min Height - 120.1 m

Max Height - 113.7 m  
Min Height - 104.7 m

Max Height - 111.6 m  
Min Height - 102.6 m

Max Height - 111.1 m  
Min Height - 105.1 m

Max Height - 104.7 m  
Min Height - 98.7 m

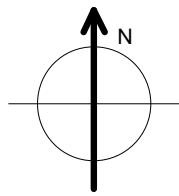
Max Height - 105.1 m  
Min Height - 96.1 m

Max Height - 98.7m  
Min Height - 92.7 m

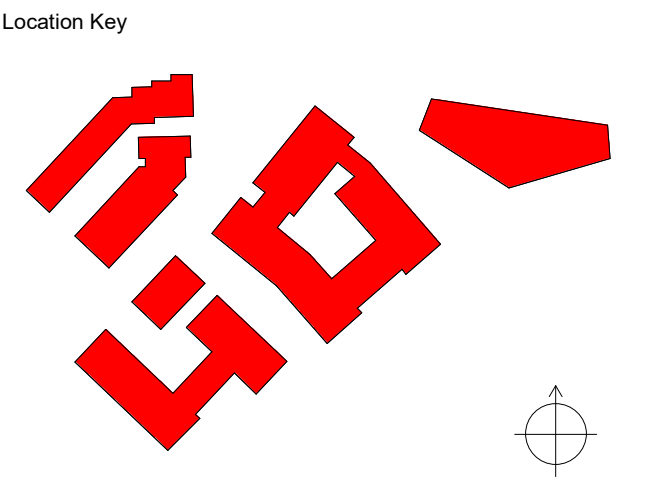
Max Height - 98.7 m  
Min Height - 92.7 m

GENERAL NOTES

01. All heights are in metres AOD.  
02. All heights exclude building parapets. Parapets are to extend a maximum of 1.2 metre above specified AOD height.  
03. Plot extents are subject to an additional allowance of up to 2m for balconies, bays, winter gardens, canopies, and awnings projecting out from plot extent limited to within Planning Application Boundary.  
04. All plant, lift motor rooms and machinery is not to exceed 3m in height above specified maximum heights, and to be set back from the outer face of the building parapet by 3m.  
05. Flues are not to exceed 4.5m in height above specified minimum or maximum heights, and to be set back from the outer face of the building parapet by 3m.



Revisions			
Date	Rev	By	Description
30/11/2021	P01	MJW	Issued for Planning.
28/04/2022	P02	MJW	Revised planning submission following meetings with CCC.



## PLANNING

Project	GHA No.
Abbots Lane	2298

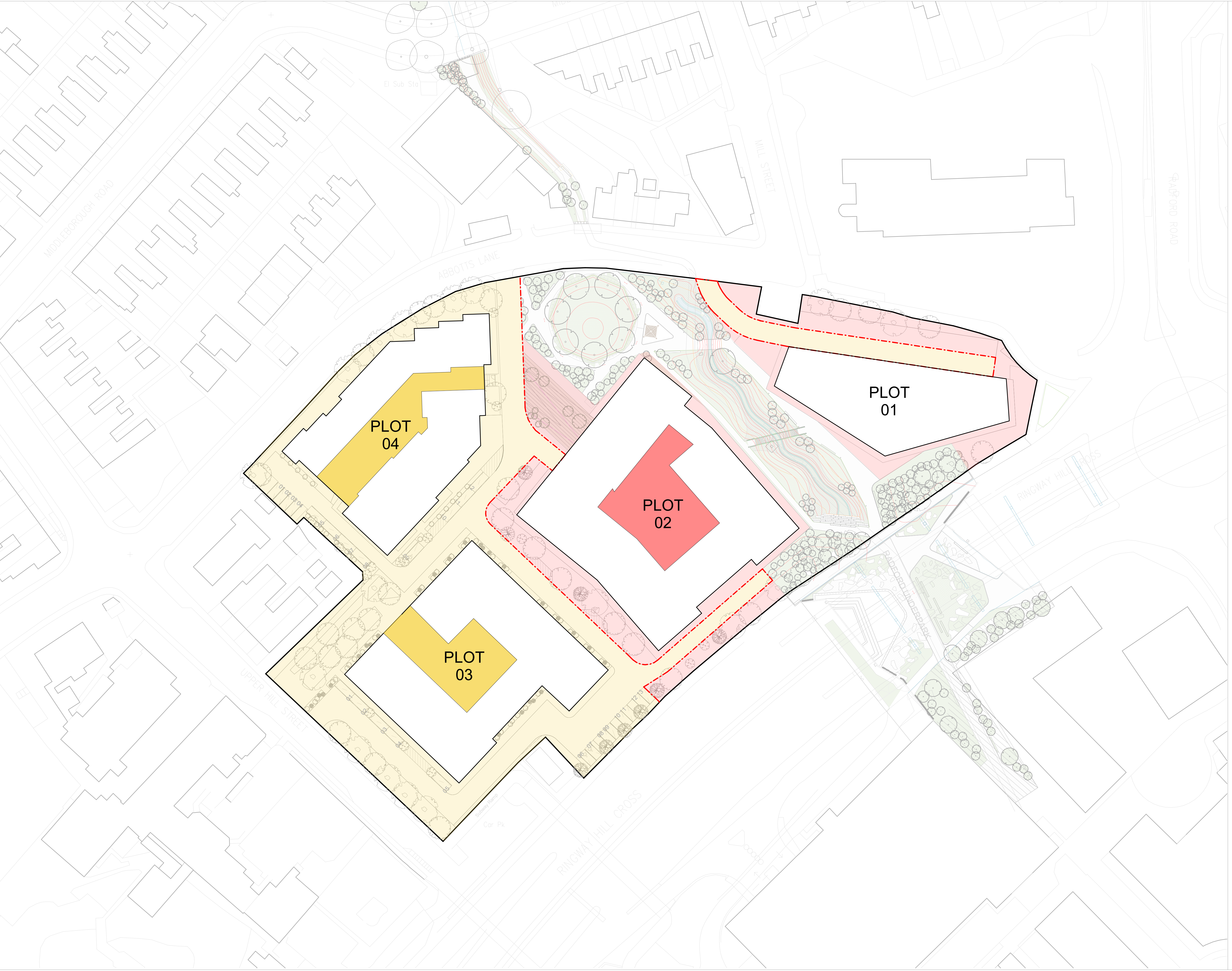
Client
CDP

Drawing Title  
**Parameter Plan 07 - Proposed Minimum + Maximum A.O.D Levels**

Drawing No.	Revision
<b>2298-GHA-ZZ-ZZ-DR-A-(05)0007</b>	<b>P02</b>

Scale	Date	Checked
Scale - 1 : 500@A1	SEP.21	MJW





Notes & Key

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING.  
CONTRACTORS NOT TO NOTIFY ARCHITECTS OF SITE VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.  
THIS DRAWING IS COPYRIGHT OF GLENN HOWELLS ARCHITECTS.

KEY

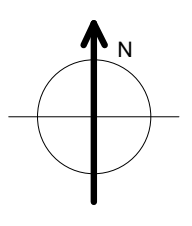
Phase Boundary

Public Realm / Landscaping  
Phase One - Detail

Private Courtyard  
Phase One - Detail

Public Realm / Landscaping  
Phase Two - Outline

Private Courtyard  
Phase Two - Outline



Revisions			
Date	Rev	By	Description
30/11/2021	P01	MJW	Issued for Planning.

Location Key

## PLANNING

Project	GHA No.
Abbotts Lane	2298

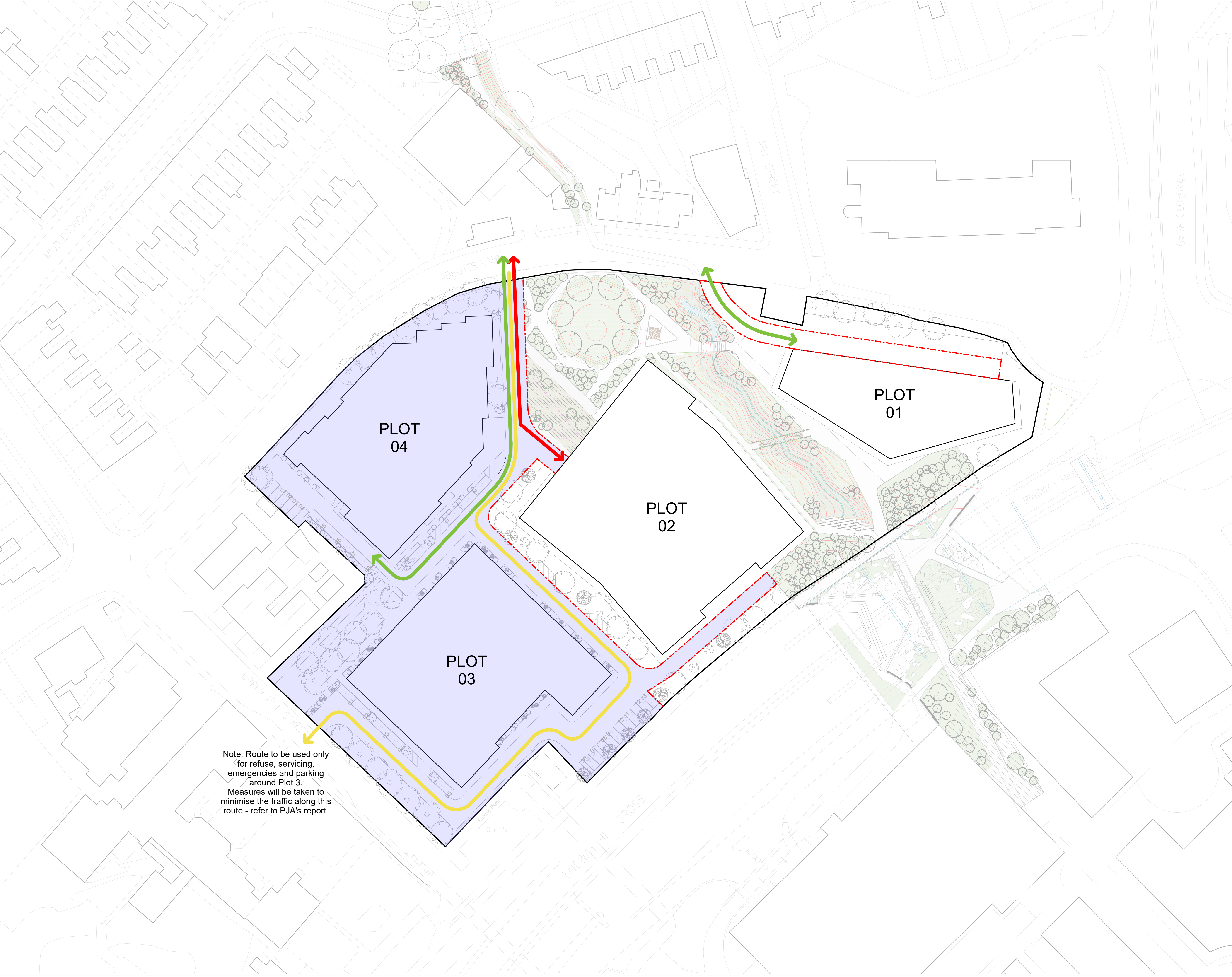
Client
CDP

Drawing Title  
**Parameter Plan 08 - Public Realm Phasing Plan**

Drawing No.	Revision
<b>2298-GHA-ZZ-DR-A-(05)0008</b>	<b>P01</b>

Scale	Date	Checked
Scale - 1 : 500@A1	SEP.21	MJW



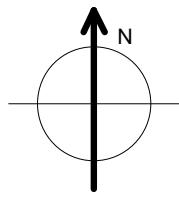


Note: Route to be used only  
for refuse, servicing,  
emergencies and parking  
around Plot 3.  
Measures will be taken to  
minimise the traffic along this  
route - refer to PJA's report.

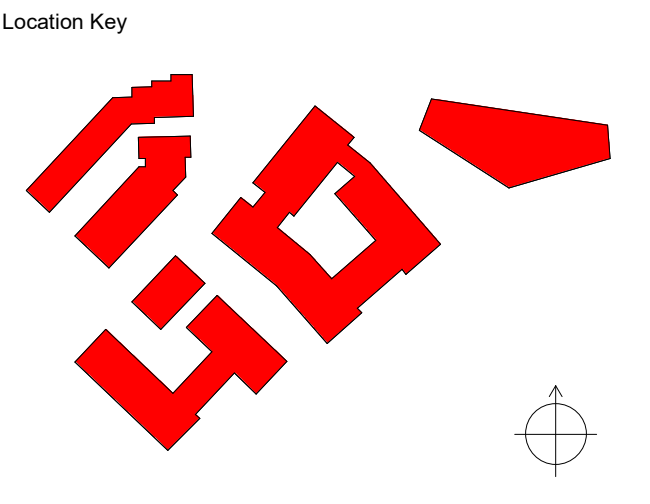
Notes & Key

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING.  
CONTRACTORS NOT TO NOTIFY ARCHITECTS OF SITE  
VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.  
THIS DRAWING IS COPYRIGHT OF GLENN HOWELLS  
ARCHITECTS.

- KEY
- Application Red Line Boundary
  - Phase One - Detail
  - Entrance and exit via Abbots Lane only
  - Entrance via Abbots Lane / Exit via Upper Hill Street only



Revisions			
Date	Rev	By	Description
30/11/2021	P01	MJW	Issued for Planning.

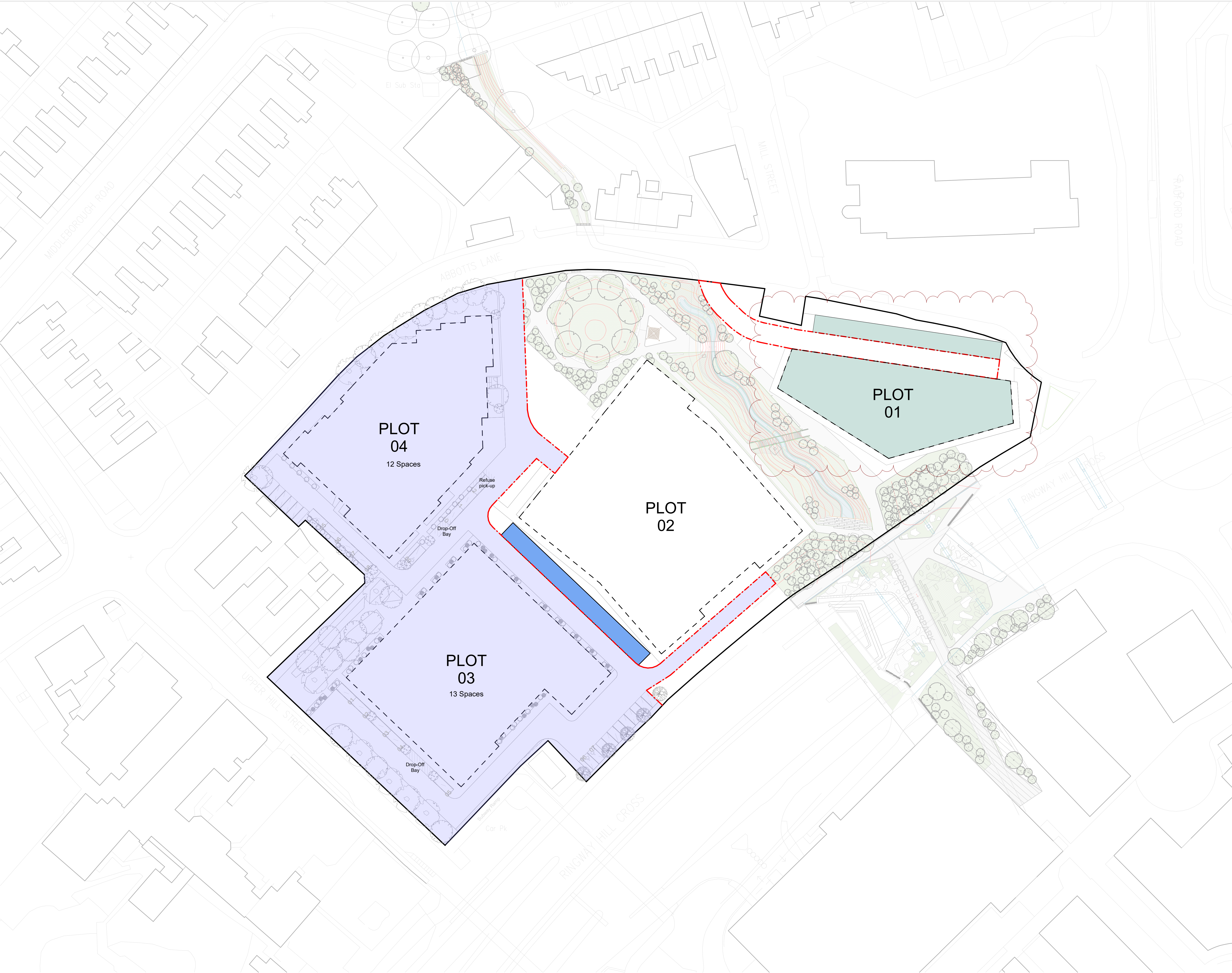


## PLANNING

Project	GHA No.
Abbots Lane	2298
Client	
CDP	

Drawing Title	
Parameter Plan 09 - Proposed Movement Plan	
Drawing No.	
2298-GHA-ZZ-DR-A-(05)0009	P01
Scale	Date
Scale - 1 : 500@A1	SEP.21
Checked	
MJW	





Notes & Key

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING.  
CONTRACTORS TO NOTIFY ARCHITECTS OF SITE VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.  
THIS DRAWING IS COPYRIGHT OF GLENN HOWELLS ARCHITECTS.

KEY

- Phase Boundary
- Temporary Car Parking And Temporary Mast Relocation Site
- Phase One - Detail
- Additional Temporary Parking Zone
- Proposed Parking

**Parking Numbers (Allocated as part of Phase One)**

Plot 03 - 13 Spaces  
Plot 04 - 12 Spaces

**Total - 25 Spaces**

Revisions			
Date	Rev	By	Description
30/11/2021	P01	MJW	Issued for Planning.
28/04/2022	P02	MJW	Revised planning submission following meetings with CGC.

Location Key

## PLANNING

Project	GHA No.
Abbotts Lane	2298
Client	
CDP	

Drawing Title	
Parameter Plan 10 - Temporary Carpark Strategy	
Drawing No.	Revision
2298-GHA-ZZ-ZZ-DR-A-(05)0010	P02
Scale	Date
Scale - 1 : 500@A1	SEP.21
	Checked MJW





Notes & Key

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING.  
CONTRACTORS NOT TO NOTIFY ARCHITECTS OF SITE  
VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.  
THIS DRAWING IS COPYRIGHT OF GLENN HOWELLS  
ARCHITECTS.

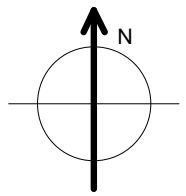
- KEY
- Phase Boundary
  - Phase One - Detail
  - Private Parking
  - Proposed Parking

Parking Numbers

Plot 01 - 33 Spaces  
Plot 02 - 181 Spaces  
Plot 03 - 13 Spaces  
Plot 04 - 12 Spaces

Total - 239 Spaces

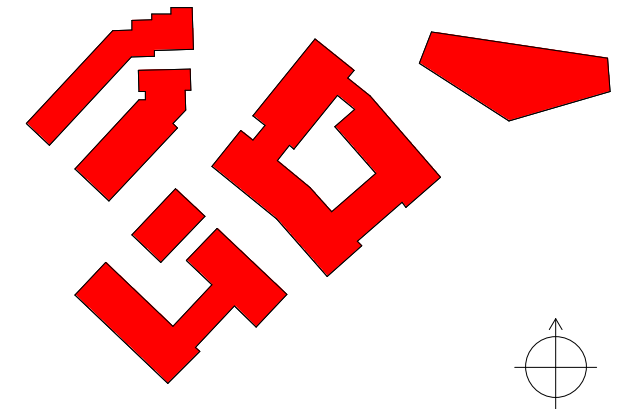
34.1% of 700 overall units.



Revisions

Date	Rev	By	Description
30/11/2021	P01	MJW	Issued for Planning.

Location Key



PLANNING

Project	GHA No.
Abbotts Lane	2298
Client	
CDP	

Drawing Title  
**Parameter Plan 11 - End Scheme Carpark Strategy**

Drawing No.	Revision
<b>2298-GHA-ZZ-ZZ-DR-A-(05)0011</b>	<b>P01</b>

Scale	Date	Checked
Scale - 1 : 500@A1	SEP.21	MJW

**Glenn Howells Architects**  
Birmingham London glennhowells.co.uk