



CDM Residual Hazards
 In addition to the hazards / risks normally associated with the types of work detailed on this drawing, particular attention is drawn to unusual or hidden risks, which are identified by the following:

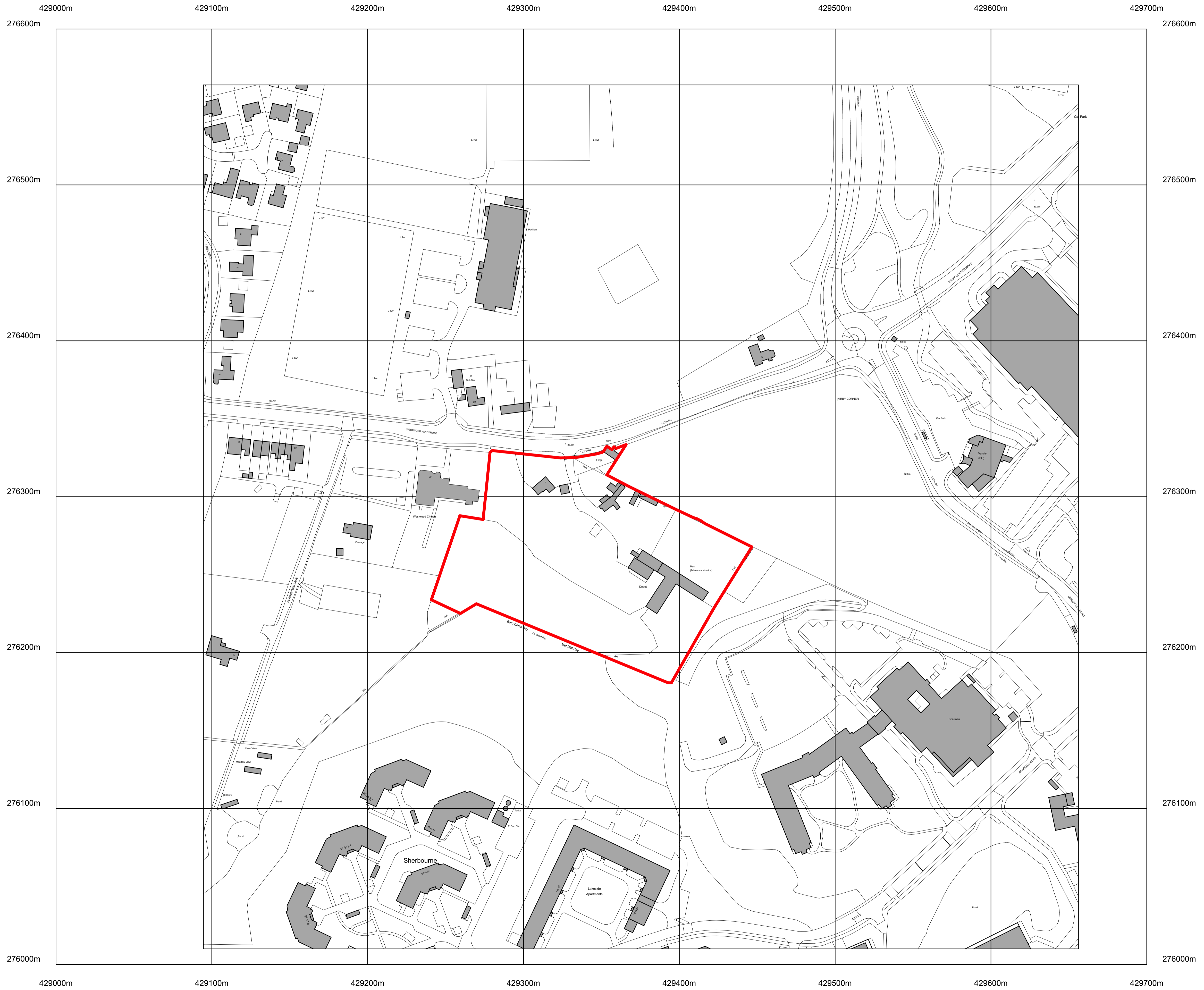
Significant Hazard Key

 Used to avoid or refrain from a particular action

 Used to convey some relevant information

Refer to designers risk register for further information on highlighted hazards

GENERAL NOTES AND LEGEND



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P03	23/07/2025	MPa	APu
P02	03/07/2025	APu	MPa
P01	07/06/2024	APu	TBo
rev	date	by	chk



Planning
 project: Westwood Heath Road, Coventry

drawing name: Location Plan

drawing ref:	3612-MAB-ZZ-00-D-A-0100	status / revision:	S2 / P03
int. job no:	3612	scale / format:	1:1250 @ A1



0100

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This drawing has been prepared solely for feasibility purposes, for the benefit of Rainier Real Estate Limited only, based on the following information:

- I. Ordnance Survey plan, original scale 1:1250.
- II. Topographic Survey, drawing 50299_TJUG_REV 1, by Greenhatch Surveys dated 21.06.24

1. No dimensional checks have been undertaken.
2. Do not scale from this drawing.
3. The boundaries of the site have not been verified with the Land Registry.
4. All areas quoted are approximate.
5. Verification of the above details must be obtained.
6. Maber Associates Limited accept no liability for the misuse by others of this drawing, in whole or in part.

All areas are approximate and may be verified once accurate design information is available. Areas and associated building envelope shall be subject to Local Authority approval.

No allowance made for specialist plant-rooms etc. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:

- Client Requirements.
- Design development.
- Construction methods and building tolerances.
- Local authority consents & approvals.

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Status Codes

Shared (Non-contractual):

- S0-** to be used within a task team,
- S1-** suitable for geometrical and/or non-geometrical coordination within a delivery team,
- S2-** suitable for information/reference by other task teams within a delivery team,
- S3-** suitable for review and comment within a delivery team,
- S4-** suitable for review and authorisation by a lead appointed party,
- S5-** suitable for review and acceptance by an appointing party.

Published (Contractual):

- A1, An,** etc. - authorised/accepted information.

P10	20/01/2026	MPa	APu
P09	28/07/2025	ABI	MPa
P08	24/07/2025	MPa	APu
P07	23/07/2025	MPa	APu
P06	11/06/2025	APu	MPa
		ABI	APu
P05	24/04/2025	APu	MPa
P04	23/04/2025	APu	TBo
P03	08/04/2025	APu	MPa
P02	25/08/2024	APu	TBo
P01	07/06/2024	APu	TBo
rev	date	by	chk

RAINIER
DEVELOPMENTS LIMITED

Stage 2 - Concept Design

project:
Westwood Heath Road, Coventry

drawing name:
Feasibility Proposed Site Plan

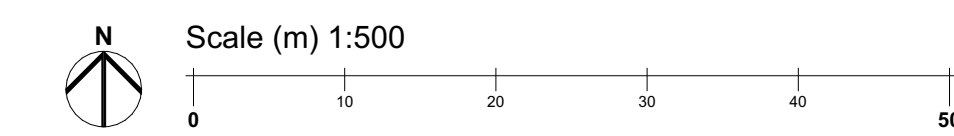
drawing ref:
3612-MAB-ZZ-00-D-A-0001
int. job no:
3612

status / revision:
S2 / P10
scale format:
1:500 @ A1

architecture / interiors / landscape
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Nottingham

0001

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CONSTRUCTION DESIGN AND MANAGEMENT REGULATIONS

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GENERAL NOTES AND LEGEND

Application Boundary

Note
 Site plan within red line boundary are from the Topographic Survey, surroundings outside the red line boundary are from Ordnance Survey information

- Key**
- Root protection zones, as advised by the arboriculturalist edp - The Environmental Dimension Partnership.
 - Area to remain undeveloped and for green uses only, where detailed landscaping arrangements are reserved for future determination.
 - Area where development is to be sited, with detailed layout within this area reserved for future determination.
 - Area for supporting infrastructure, including access works, internal roads, car parking, cycle storage, utilities and other ancillary development (existing landscape features retained and protected, save for creating points of access).

NOTE: Tree canopy sizes are indicative.

P12	21/01/2026	MPa	APU
P11	20/01/2026	MPa	APU
P10	30/09/2025	APU	MPa
P09	30/09/2025	APU	MPa
P08	29/09/2025	APU	MPa
P07	26/09/2025	APU	MPa
P06	24/07/2025	MPa	APU
P05	23/07/2025	MPa	APU
P04	03/07/2025	MPa, APU	MPa
P03	01/07/2024	MPa	APU
P02	25/06/2024	APU	TBo
P01	07/06/2024	APU	TBo
rev	date	by	chk

RAINIER DEVELOPMENTS LIMITED

Planning
 project: Westwood Heath Road, Coventry

drawing name: Siting Parameters Plan

drawing ref: 3612-MAB-00-00-D-A-0103 status / revision: S2 / P12
 int. job no: 3612 scale format: 1:500 @ A1



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0103

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

GENERAL NOTES AND LEGEND

 Application Boundary

Note

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Key

-  Developable area maximum +6m
-  Developable area maximum +14m
-  Developable area maximum +17m
-  Developable area maximum +20m

+XXm Maximum Building Height within Zone to parapet, plus relocated telecoms mast.

NOTE: Tree canopies are illustrative.



P13	21/01/2026	MPa	APu
P12	20/01/2026	MPa	APu
P11	29/09/2025	APu	MPa
P10	26/09/2025	APu	Mpa
P09	24/07/2025	MPa	APu
P08	23/07/2025	MPa	APu
P07	03/07/2025	APu	MPa
P06	12/06/2025	ABI	APu
P05	11/06/2025	ABI	APu
P04	11/06/2025	ABI	APu
P03	01/07/2024	MPa	APu
P02	25/06/2024	APu	TBo
P01	07/06/2024		

RAINIER
 DEVELOPMENTS LIMITED

Planning

project:
 Westwood Heath Road, Coventry

drawing name:
 Massing Parameters Plan.

drawing ref:
 3612-MAB-00-00-D-A-0104

status / revision:
 S2 / P13

scale format:
 1:500 @ A1

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0104

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Proposed vehicle activated speed sign on approach to 30mph speed limit

Proposed dragon's teeth

Proposed raised table at junction to be delivered by Developer. Gradient of ramp to be agreed with the LHA in order for it to be 'bus friendly'. Tactile paving provided in the east enabling pedestrian/cycle movements across the carriageway

Proposed carriageway narrowing to 6.1m wide to provide a 3m shared use path along the northern kerbline

Proposed speed cushions

Proposed dropped kerbs and tactile paving across western arm of roundabout enabling pedestrian movements

Proposed dropped kerbs and tactile paving across southern arm of roundabout to tie proposed shared path into Council's active travel proposals

Proposed 3m shared use path

Proposed 2m pedestrian link into the northwestern corner of the site

Change in speed limit to 30mph relocated west of Coventry University Sports Ground, approximately 250m west of existing location

Potential to add controlled crossing point

Proposed 3m shared use path to tie into proposed LHA active travel schemes

LEGEND

- Site Boundary
- 2.4m x 120m Visibility Splays
- Highway Boundary

Rev	Date	Description	By	Apvd
P15	20.02.26	Revision	BT	AW
P14	20.01.26	Revision	BT	AW
P13	12.01.25	Revision	BT	AW
P12	01.09.25	Revision	BT	AW
P11	28.07.25	Revision	DL	AW
P10	13.06.25	Name Change	DL	AW
P9	28.05.25	Revision	DL	AW
P8	20.05.25	Revision	DL	AW
P7	12.05.25	Revision	BT	AW
P6	08.04.25	Revision	DL	AW
P5	18.02.25	Revision	DL	AW
P4	17.02.25	Revision	DL	AW
P3	07.08.24	Title Change & Amendments	MK	MG
P2	29.07.24	Amendments	MK	MG
P1	06.12.22	Preliminary issue	MK	JD

PROJECT:
WESTWOOD HEATH ROAD, COVENTRY

TITLE:
ACCESS DESIGN FOR APPROVAL

CLIENT:
RAINIER REAL ESTATE LTD

SCALE@A3:
1:1250

PROJECT REF: 24236	STATUS: N/A
DRAWING No: 0001	REV: P15

Revision Referencing
P = Preliminary A = Approval T = Tender C = Construction

