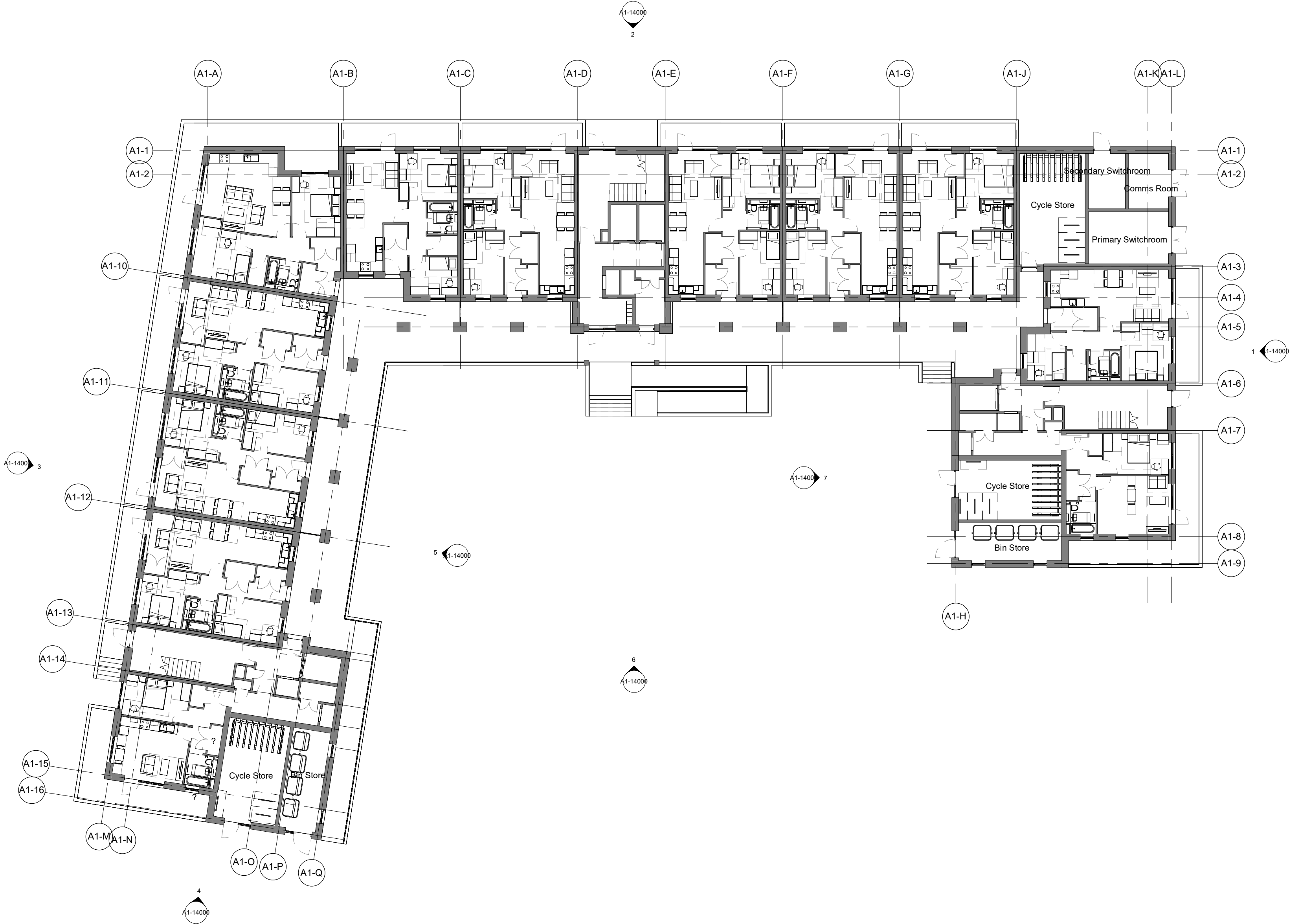


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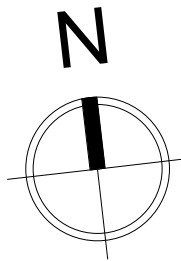
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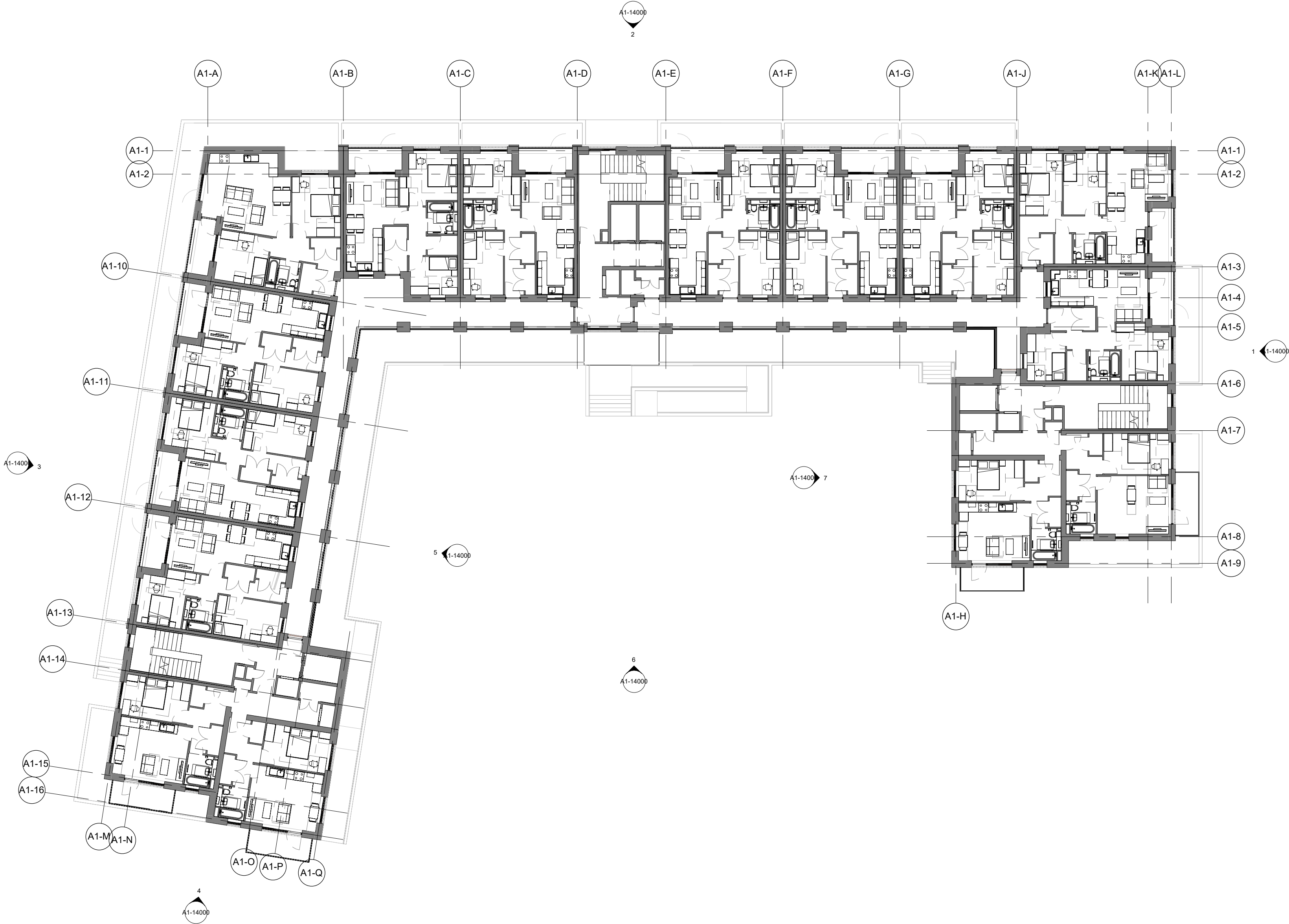
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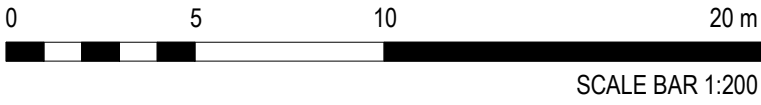
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CV1 3DJ
PROJECT NAME
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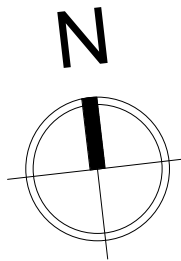
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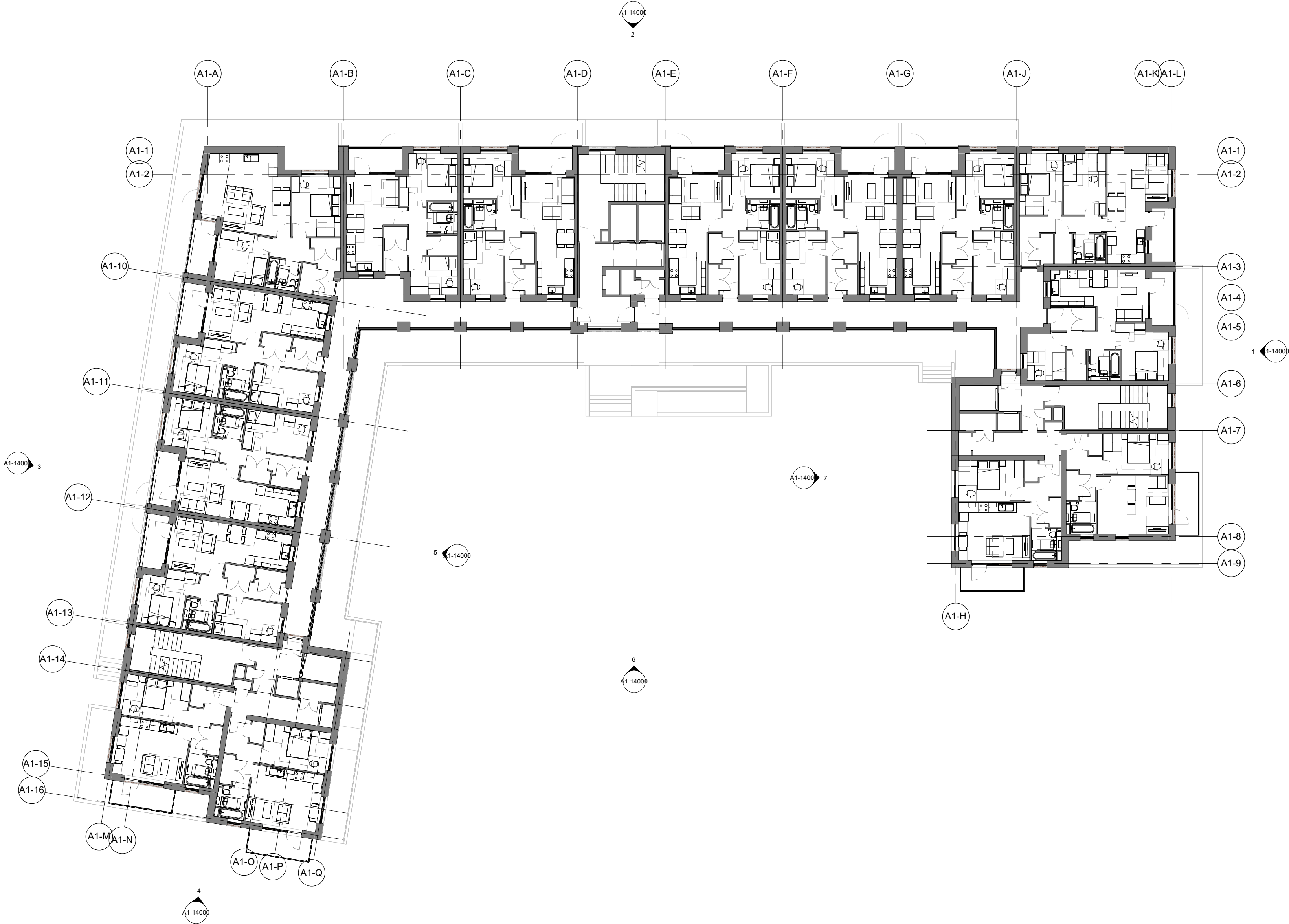
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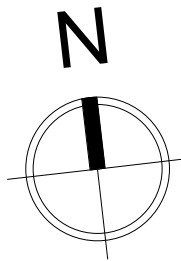
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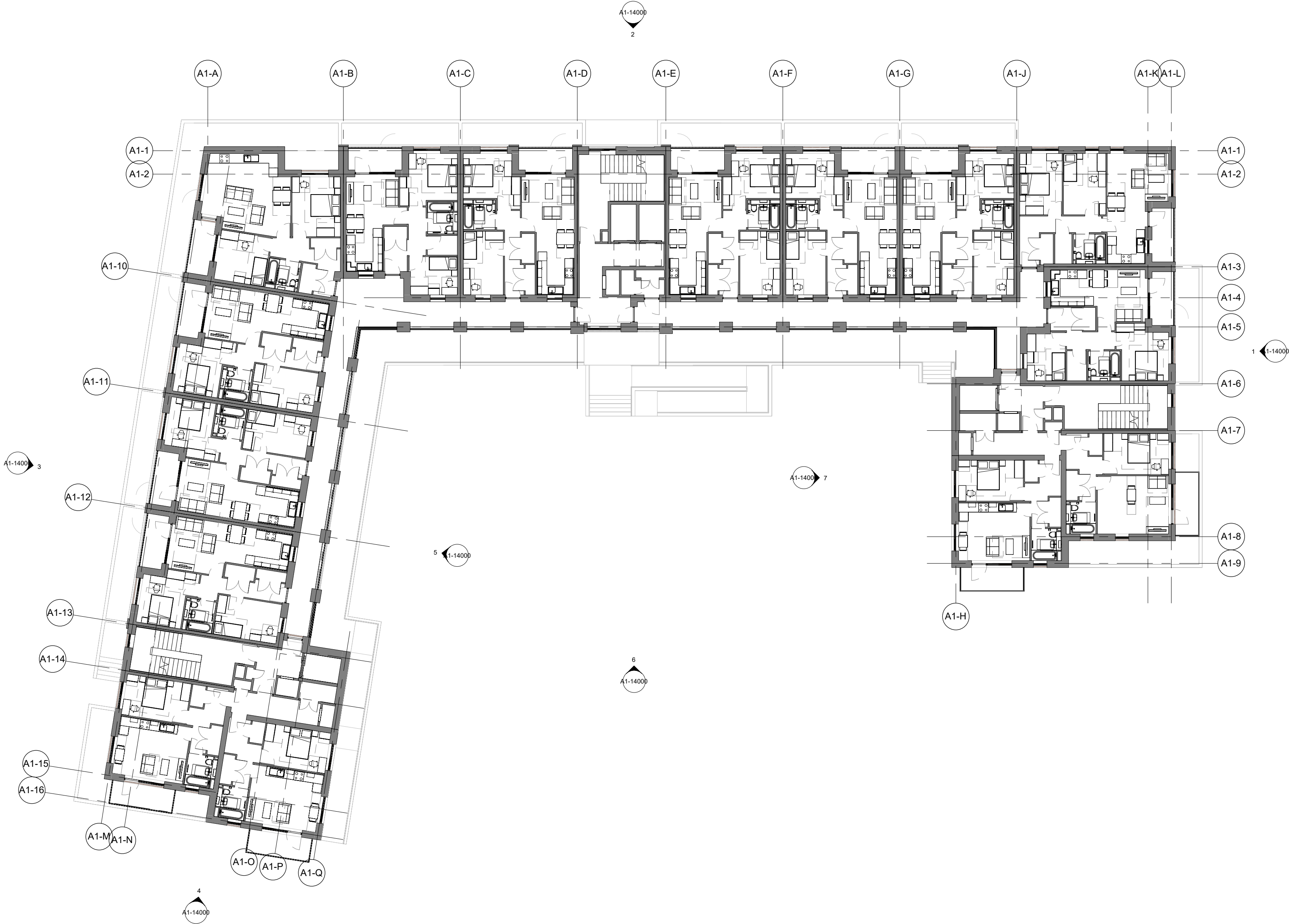
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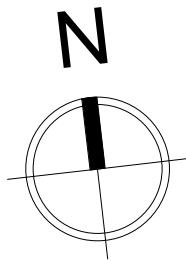
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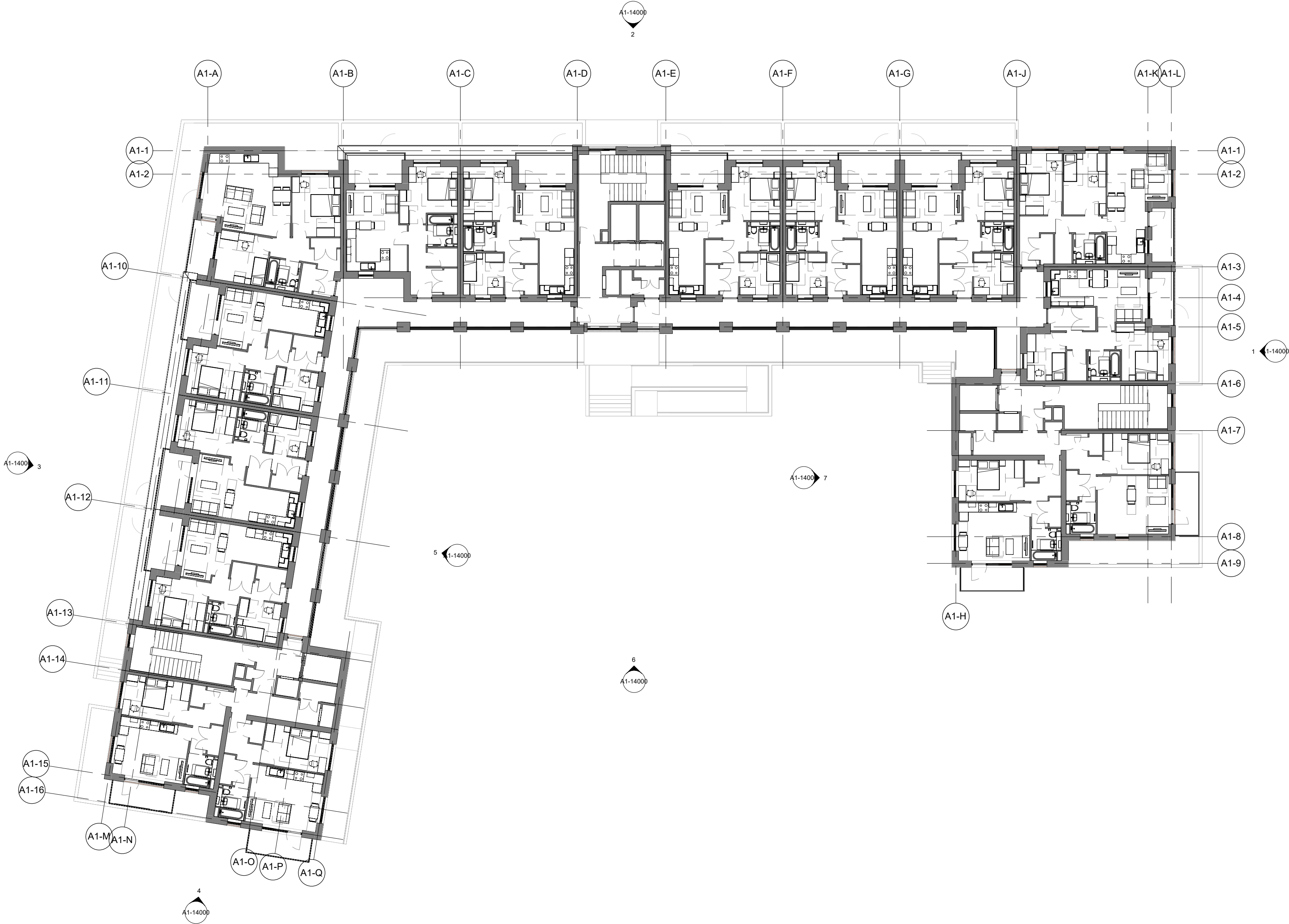
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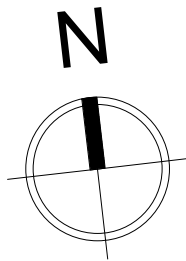
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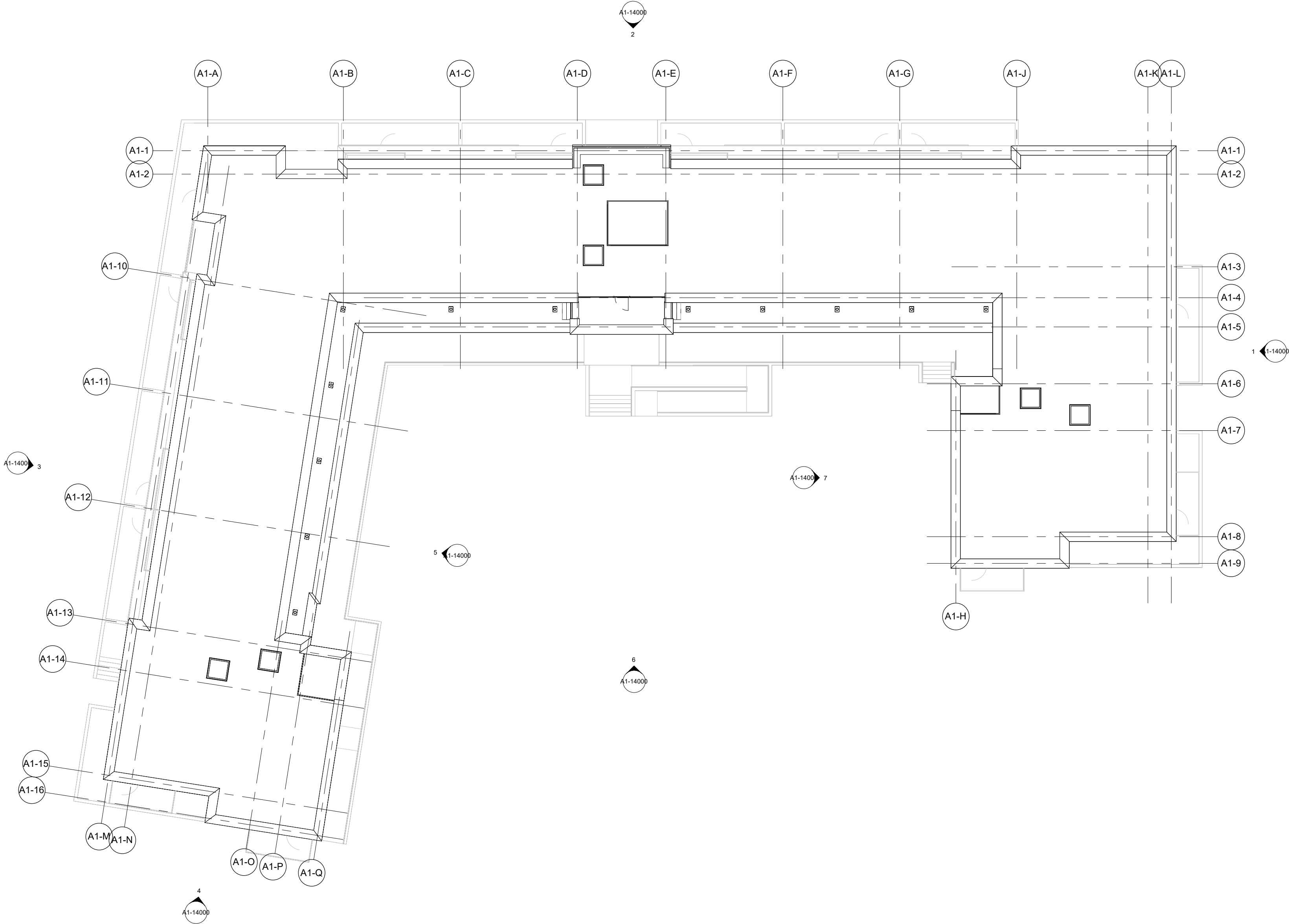
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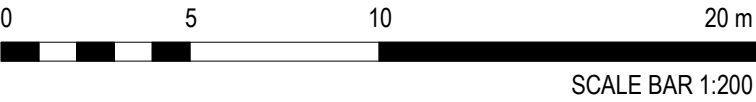
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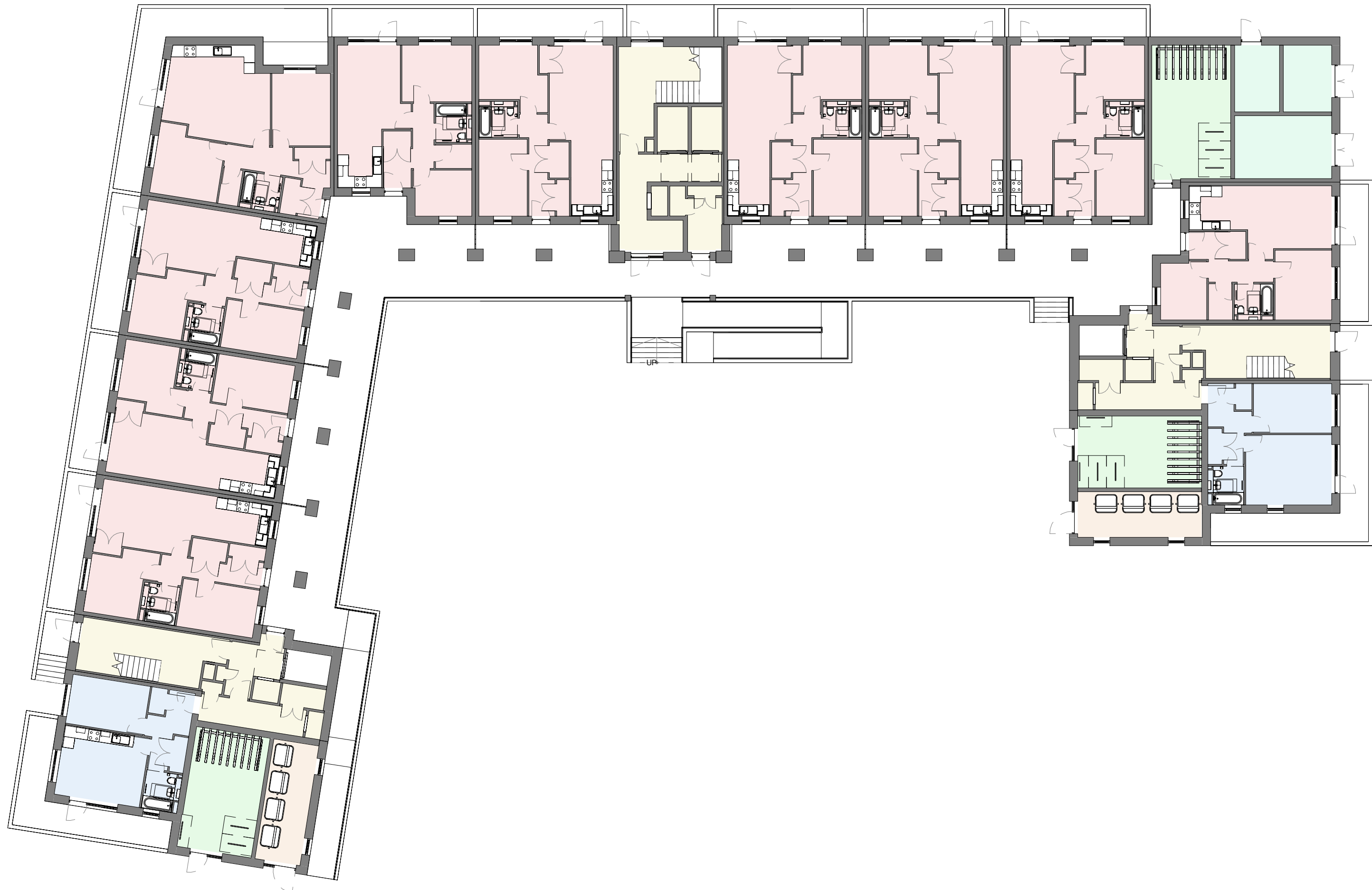
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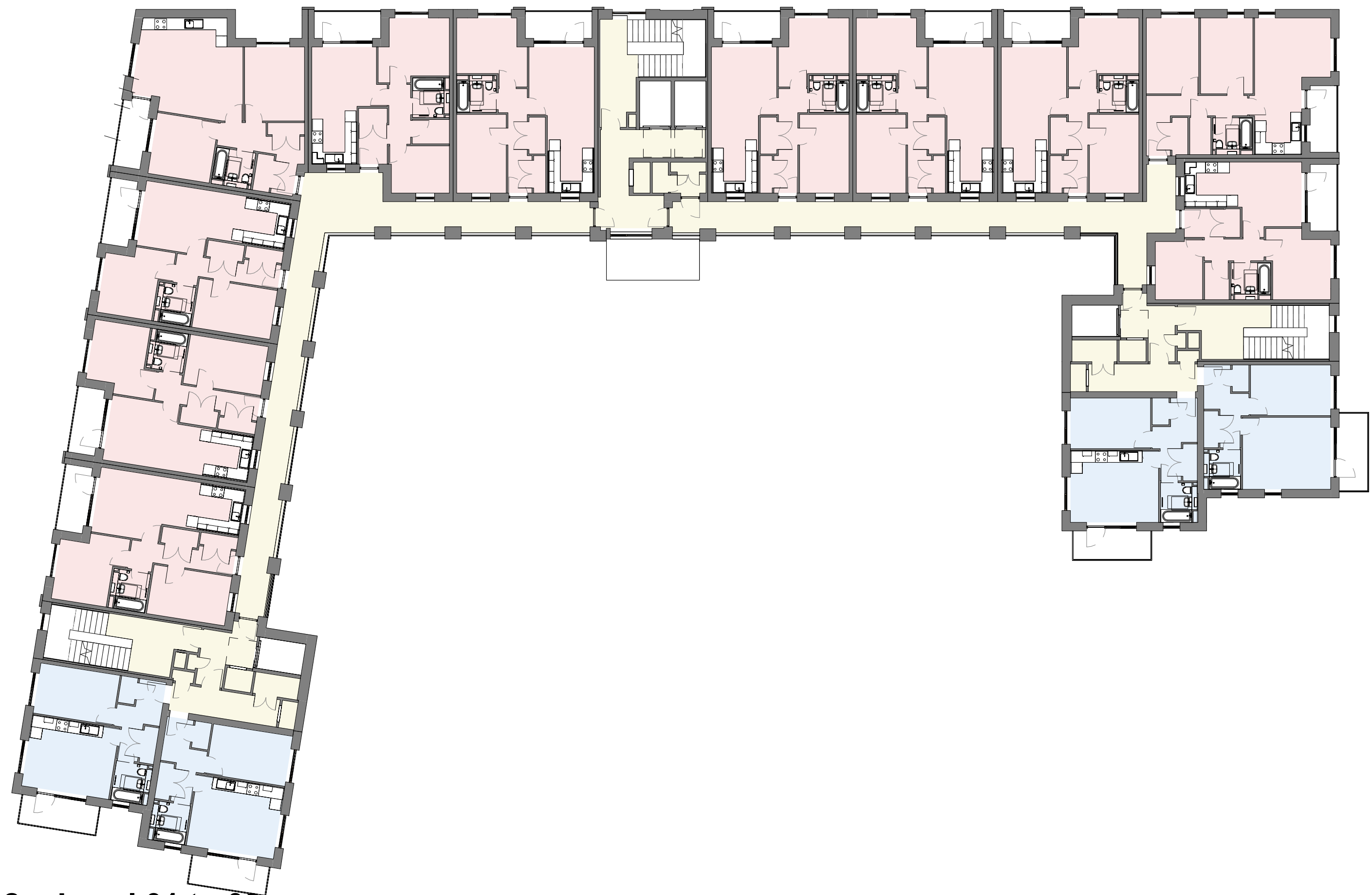
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SUITABILITY CODE		S2 - Suitable for Information	
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32398	BGL	A1	05
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DR	A	12005	P11





1 - Level 00
1 : 200



2 - Level 01 to 03
1 : 200

Area Schedule (NIA)_A1								
Unit Block	Level	Unit Size	Unit Type	Area	Accessibility	Tenure	Usage	Count
Block A1	Level A1_00	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	2
Block A1	Level A1_00	2B/3P	A1_Type 2	77.66 m²	M4(2)	Affordable	Residential	1
Block A1	Level A1_00	2B/3P	AZ_Type 1	64.38 m²	M4(2)	Affordable	Residential	2
Block A1	Level A1_00	2B/3P	AZ_Type 3	71.18 m²	M4(2)	Affordable	Residential	7
Block A1	Level A1_00	Bin Store	Ancillary	17.16 m²			Residential	1
Block A1	Level A1_00	Bin Store	Ancillary	17.51 m²			Residential	1
Block A1	Level A1_00	Circulation	Ancillary	49.08 m²			Residential	2
Block A1	Level A1_00	Circulation	Ancillary	65.16 m²			Residential	1
Block A1	Level A1_00	Cycle Store	Ancillary	27.57 m²			Residential	1
Block A1	Level A1_00	Cycle Store	Ancillary	27.95 m²			Residential	1
Block A1	Level A1_00	Cycle Store	Ancillary	32.80 m²			Residential	1
Block A1	Level A1_00	Plant Room	Ancillary	40.14 m²			Residential	1
Block A1	Level A1_01	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	4
Block A1	Level A1_01	2B/3P	A1_Type 3	71.32 m²	M4(1)	Affordable	Residential	1
Block A1	Level A1_01	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	7
Block A1	Level A1_01	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	1
Block A1	Level A1_01	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	2
Block A1	Level A1_01	Circulation	Ancillary	234.50 m²			Residential	1
Block A1	Level A1_02	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	4
Block A1	Level A1_02	2B/3P	A1_Type 3	71.32 m²	M4(1)	Affordable	Residential	1
Block A1	Level A1_02	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	7
Block A1	Level A1_02	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	1
Block A1	Level A1_02	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	2
Block A1	Level A1_02	Circulation	Ancillary	234.50 m²			Residential	1
Block A1	Level A1_03	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	4
Block A1	Level A1_03	2B/3P	A1_Type 3	71.32 m²	M4(1)	Affordable	Residential	1
Block A1	Level A1_03	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	7
Block A1	Level A1_03	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	1
Block A1	Level A1_03	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	2
Block A1	Level A1_03	Circulation	Ancillary	234.50 m²			Residential	1
Block A1	Level A1_04	1B/2P	A1_Type 4	51.01 m²	M4(1)	Affordable	Residential	1
Block A1	Level A1_04	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	4
Block A1	Level A1_04	2B/3P	A1_Type 1	57.83 m²	M4(1)	Affordable	Residential	7
Block A1	Level A1_04	2B/3P	A1_Type 3	71.32 m²	M4(1)	Affordable	Residential	1
Block A1	Level A1_04	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	1
Block A1	Level A1_04	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	1
Block A1	Level A1_04	Circulation	Ancillary	236.28 m²			Residential	1
Block A1	Level A1_05	Roof Space	Ancillary	1264.84 m²			Residential	1
Block A1	Level A4_00	Bin Store	Ancillary	17.51 m²			Residential	2
Block A1	Level A4_00	Cycle Store	Ancillary	27.57 m²			Residential	2
Block A1	Level A4_00	Cycle Store	Ancillary	32.80 m²			Residential	1
Block A1	Level A4_00	Plant Room	Ancillary	40.14 m²			Residential	1

Area Schedule (GEA)_A1		
Unit Block	Level	Area
Block A1	Level A1_00	1335 m²
Block A1	Level A1_01	1396 m²
Block A1	Level A1_02	1396 m²
Block A1	Level A1_03	1396 m²
Block A1	Level A1_04	1339 m²
Block A1	Level A1_05	1412 m²
		8276 m²

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Key Legend

- 1 Bedroom flat
- 2 Bedroom flat
- Bin store
- Circulation
- Commercial space
- Commercial bin store
- Commercial plant room
- Cycle store
- Plant room
- Private garden
- Roof space

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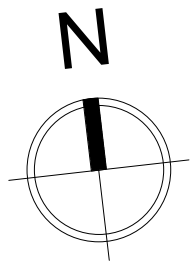
Windsor Street
Coventry
West Midlands
CV1 3DJ

PROJECT NAME

Spon End

DRAWING TITLE								
Block A1 - Indicative NIA Plans								
SUITABILITY CODE								
S2 - Suitable for Information								
SCALE	DRAWN	CHECKED	APPROVED	DATE				
1 : 200	FG	PS	DB	20/02/2025				
PROJ NO	AUTHOR	VOLUME	LEVEL	DOCTYP	ROLE	DRW NO	REV NO	
32398	BGL	A1	ZZ	DR	A	12010	P12	



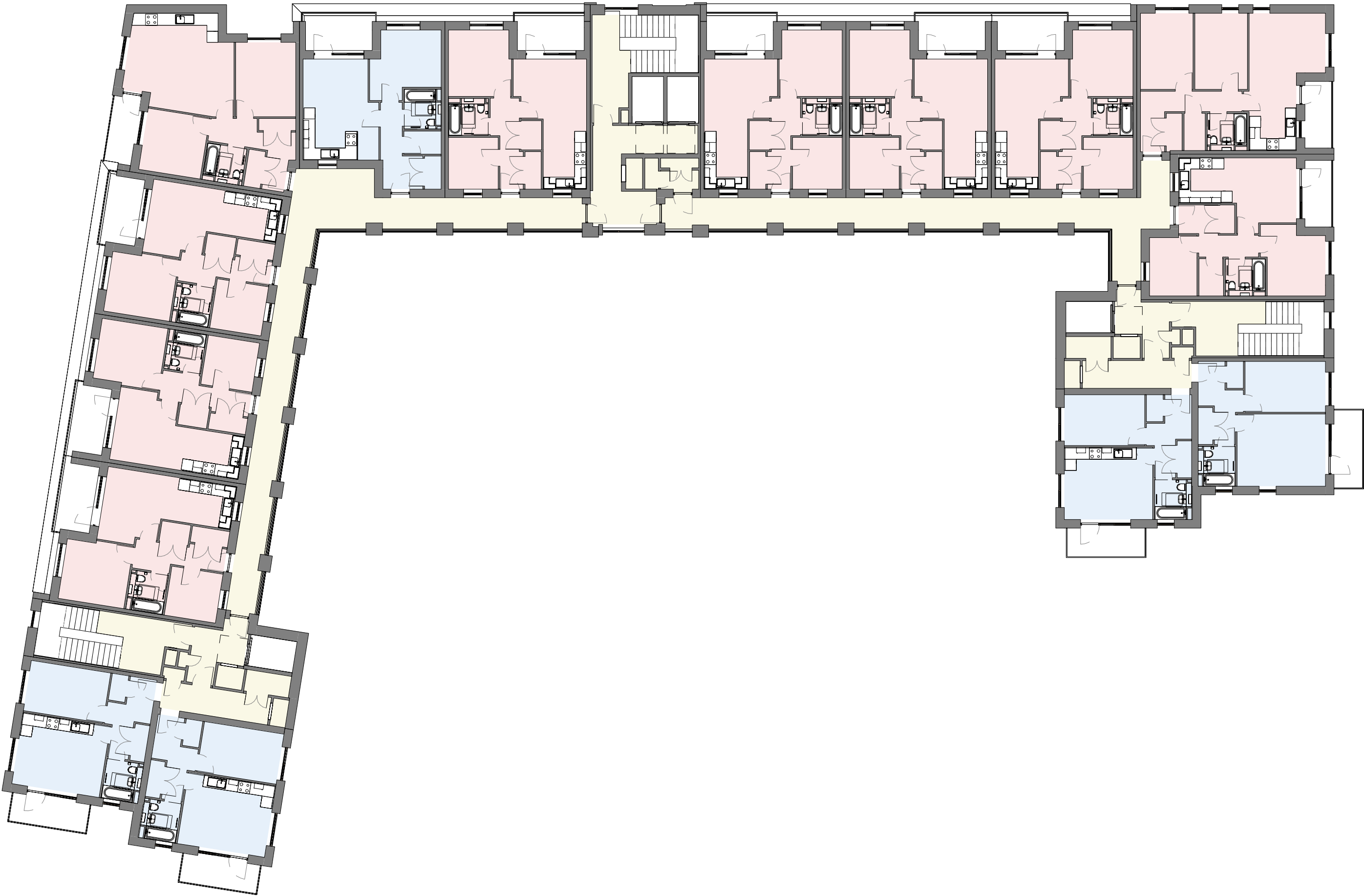


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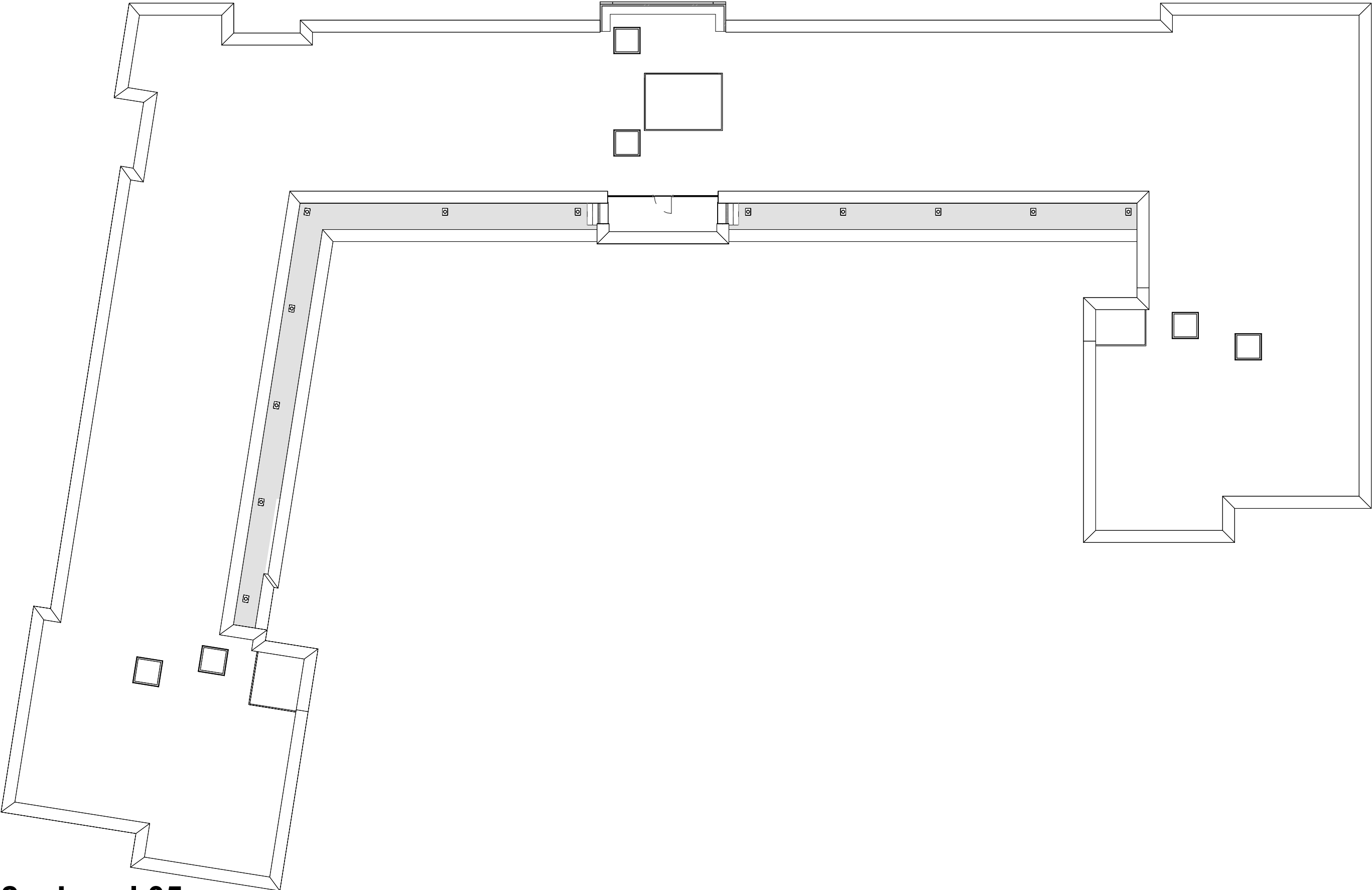
A1

Key Legend

- 1 Bedroom flat
- 2 Bedroom flat
- Bin store
- Circulation
- Commercial space
- Commercial bin store
- Commercial plant room
- Cycle store
- Plant room
- Private garden
- Roof space



1 - Level 04
1 : 200



2 - Level 05
1 : 200

P12	Issued for Planning Submission	15/08/2025
P11	Issued for Planning Submission	30/06/2025
P10	Issued to Design Team for comments	13/05/2025
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P07	Issued to Design Team for comments	24/01/2025
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P05	Issued to Design Team for comment	01/10/2024
P04	Issued to Client for comment	20/09/2024
P03	Issued to Design Team for comments	26/07/2024
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PROJECT NAME

Spon End

DRAWING TITLE

Block A1 - Indicative NIA Plans

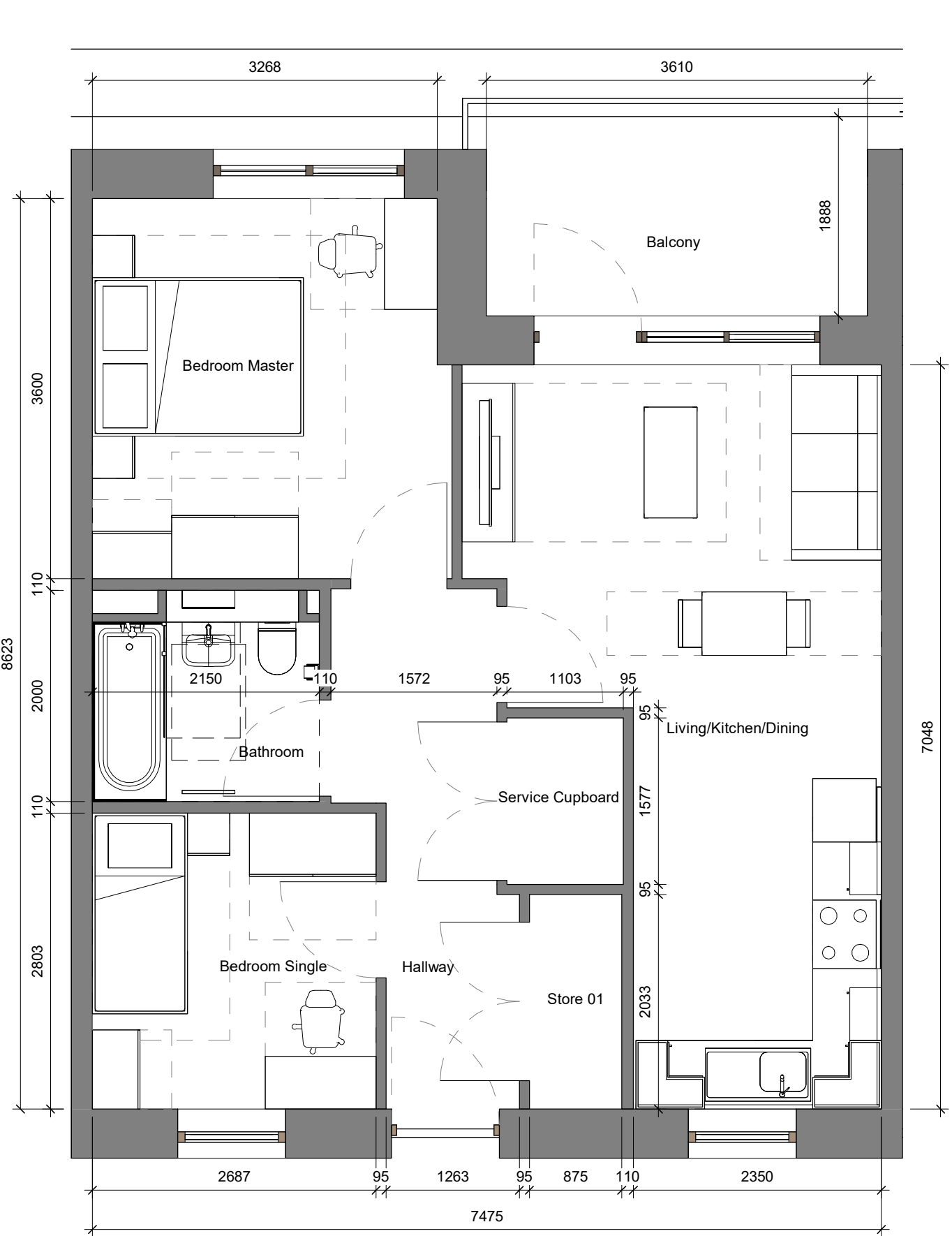
SUITABILITY CODE

S2 - Suitable for Information

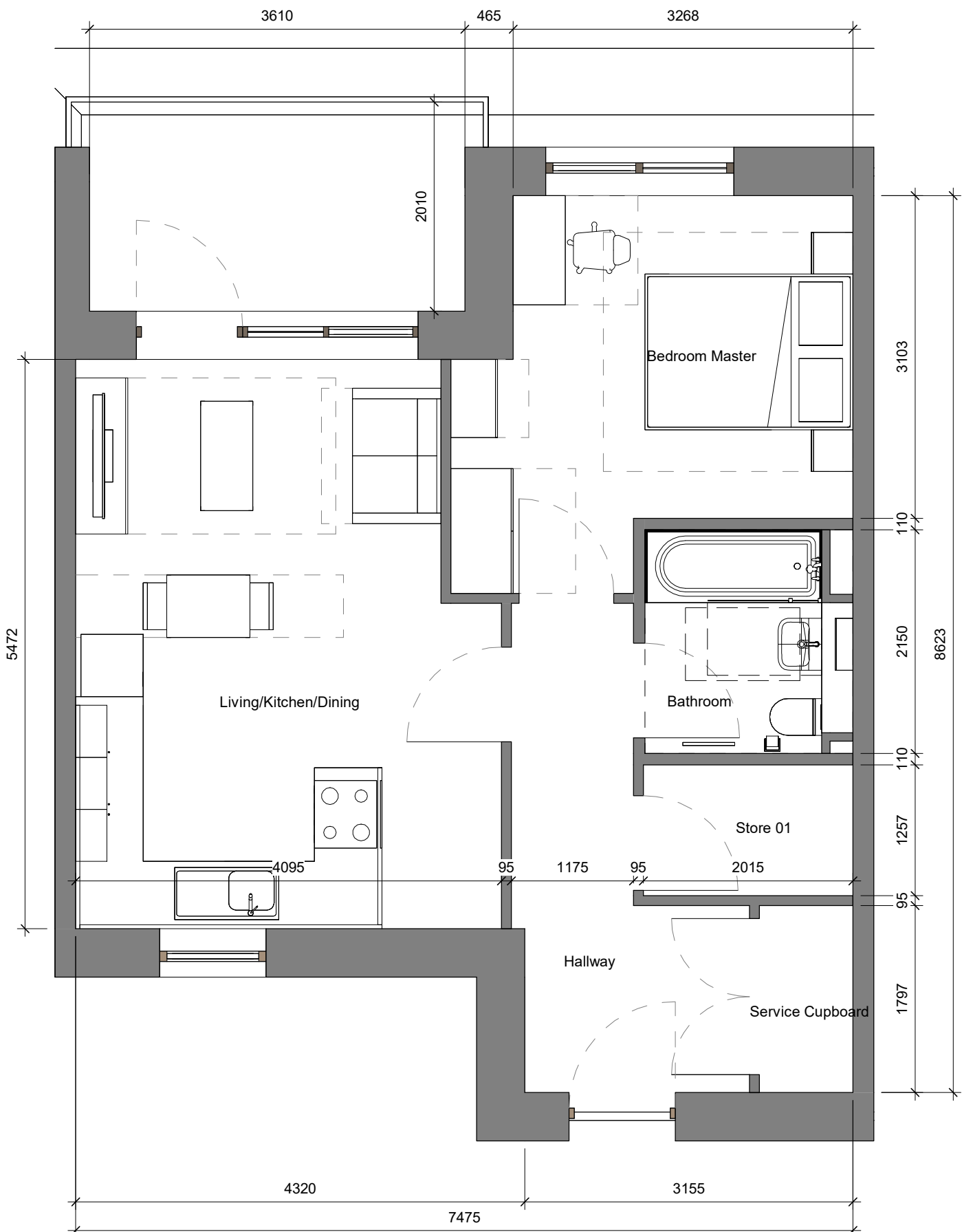
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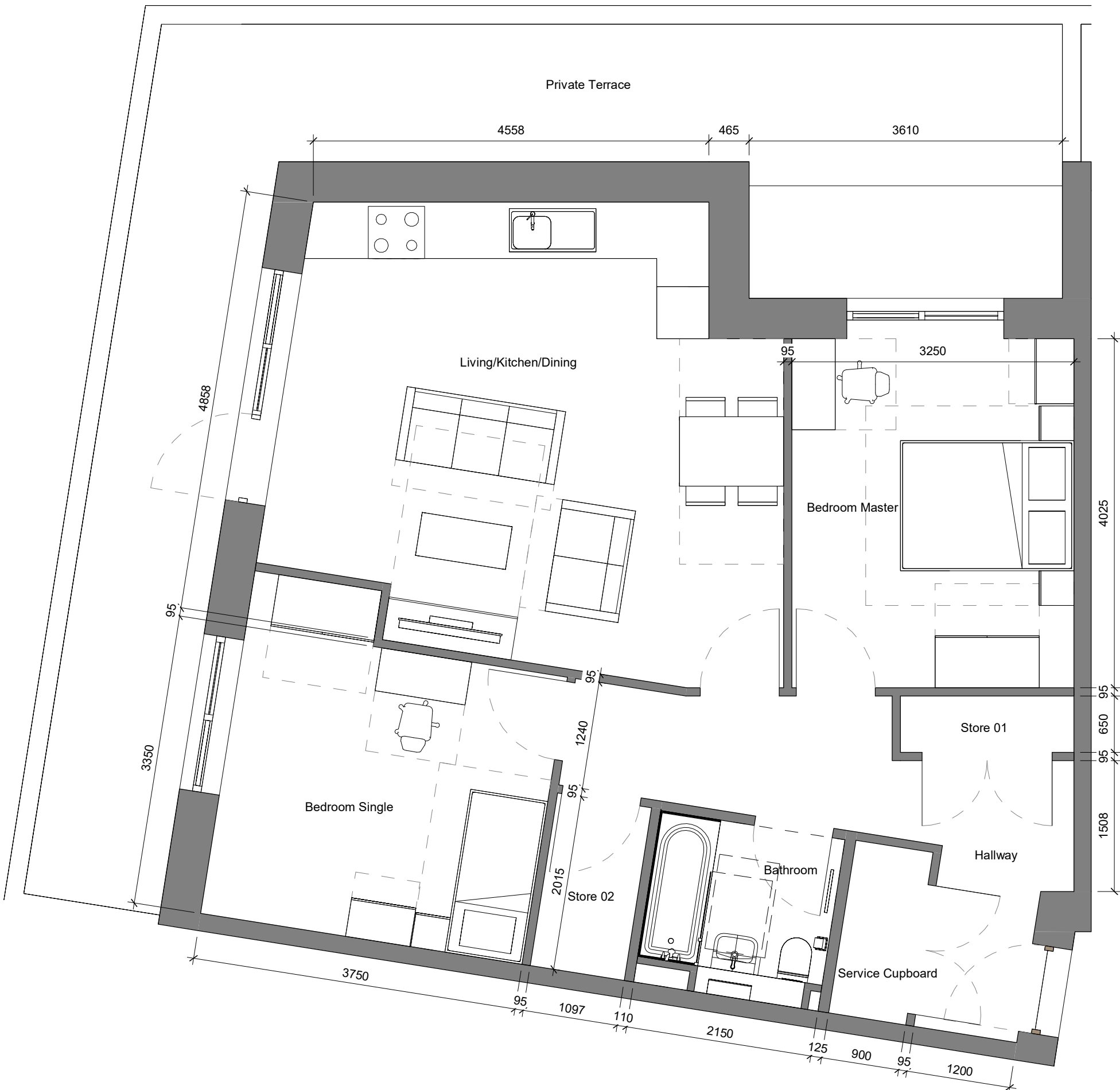




1 - A1_Type 1_2B3P_M4(1)
1 : 50



4 - A1_Type 4_1B2P_M4(1)
1 : 50



2 - A1_Type 3_2B4P_M4(2)
1 : 50



3 - A1_Type 4_2B4P_M4(1)
1 : 50

Area Schedule (NIA) - Unit Types A1							
Unit Block	Level	Area	Unit Size	Unit Type	Accessibility	Tenure	Count
Block A1	Level A1_00	77.66 m²	2B/3P	A1_Type 2	M4(2)	Affordable	1
	Level A1_00	64.38 m²	2B/3P	AZ_Type 1	M4(2)	Affordable	2
	Level A1_00	46.56 m²	1B/2P	AZ_Type 2	M4(1)	Affordable	2
	Level A1_00	71.18 m²	2B/3P	AZ_Type 3	M4(2)	Affordable	7
Block A1	Level A1_01	71.32 m²	2B/3P	A1_Type 3	M4(1)	Affordable	1
	Level A1_01	46.56 m²	1B/2P	AZ_Type 2	M4(1)	Affordable	4
	Level A1_01	64.55 m²	2B/3P	AZ_Type 4	M4(1)	Affordable	7
	Level A1_01	67.91 m²	2B/3P	AZ_Type 5	M4(1)	Affordable	1
Block A1	Level A1_01	57.75 m²	2B/3P	AZ_Type 6	M4(1)	Affordable	2
Block A1	Level A1_02	71.32 m²	2B/3P	A1_Type 3	M4(1)	Affordable	1
	Level A1_02	46.56 m²	1B/2P	AZ_Type 2	M4(1)	Affordable	4
	Level A1_02	64.55 m²	2B/3P	AZ_Type 4	M4(1)	Affordable	7
	Level A1_02	67.91 m²	2B/3P	AZ_Type 5	M4(1)	Affordable	1
Block A1	Level A1_02	57.75 m²	2B/3P	AZ_Type 6	M4(1)	Affordable	2
Block A1	Level A1_03	71.32 m²	2B/3P	A1_Type 3	M4(1)	Affordable	1
	Level A1_03	46.56 m²	1B/2P	AZ_Type 2	M4(1)	Affordable	4
	Level A1_03	64.55 m²	2B/3P	AZ_Type 4	M4(1)	Affordable	7
	Level A1_03	67.91 m²	2B/3P	AZ_Type 5	M4(1)	Affordable	1
Block A1	Level A1_03	57.75 m²	2B/3P	AZ_Type 6	M4(1)	Affordable	2
Block A1	Level A1_04	57.83 m²	2B/3P	A1_Type 1	M4(1)	Affordable	7
	Level A1_04	71.32 m²	2B/3P	A1_Type 3	M4(1)	Affordable	1
	Level A1_04	51.01 m²	1B/2P	A1_Type 4	M4(1)	Affordable	1
	Level A1_04	46.56 m²	1B/2P	AZ_Type 2	M4(1)	Affordable	4
Block A1	Level A1_04	67.91 m²	2B/3P	AZ_Type 5	M4(1)	Affordable	1
	Level A1_04	57.75 m²	2B/3P	AZ_Type 6	M4(1)	Affordable	1
Grand total: 72							

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P07	Issued to Design Team for comments	08/01/2025
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P04	Issued to Design Team for comments	02/08/2024
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P02	Issued to client for comments	12/06/2024
P01	Issued to client for comments	11/06/2024
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PROJECT NAME

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DRAWING TITLE

Block A1 - Unit Types

SUITABILITY CODE

S4 - Suitable for Stage Approval

SCALE

1 : 50

DRAWN

FG

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PS

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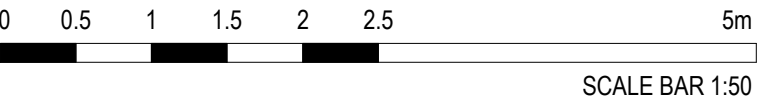
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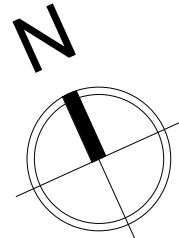
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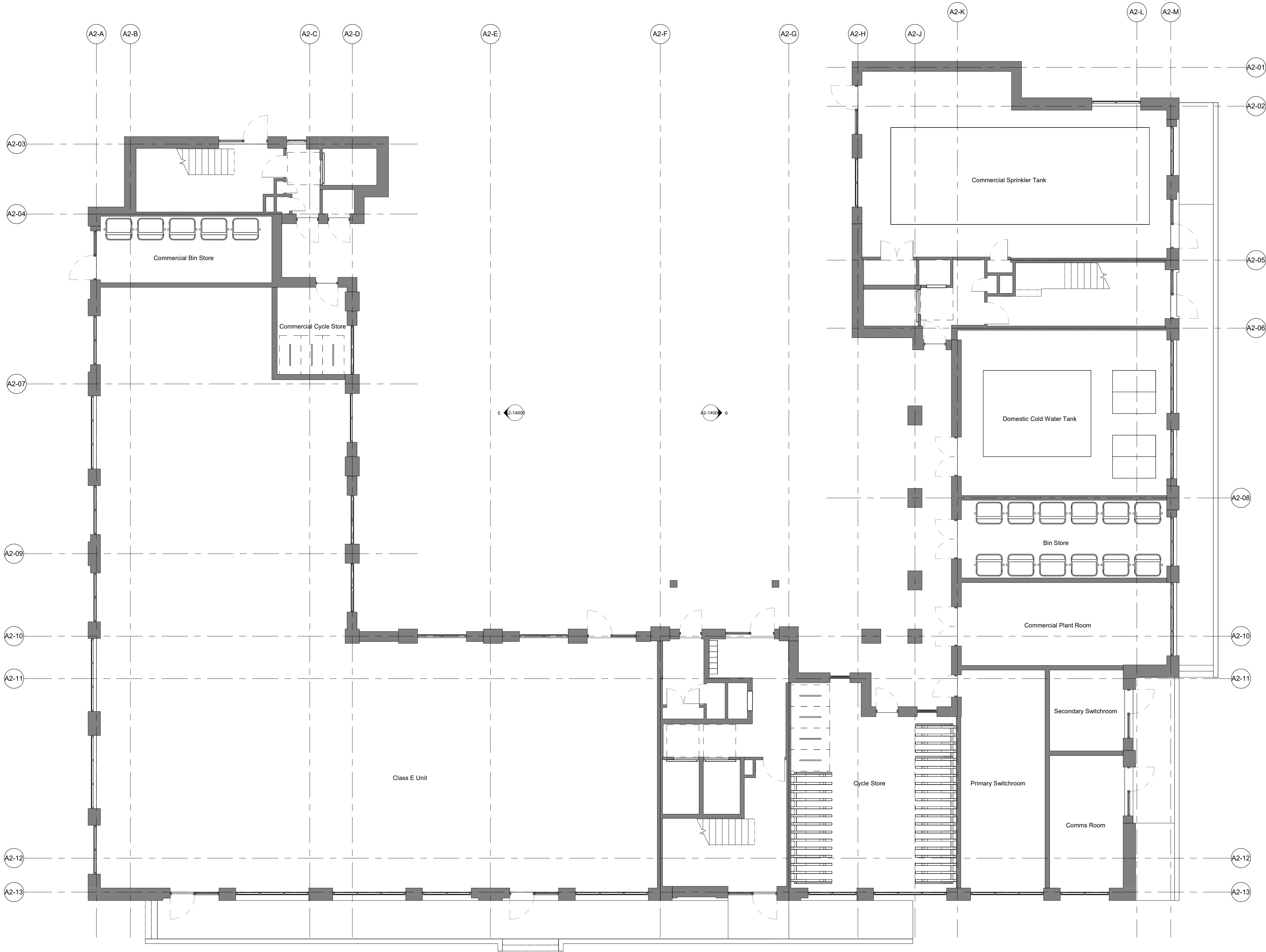
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P02	Issued to client for comments	27/06/2024
P01	Issued to client for comments	18/06/2024
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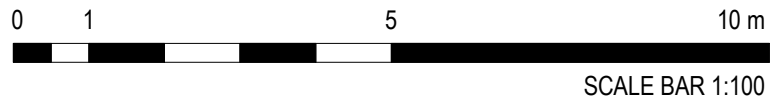
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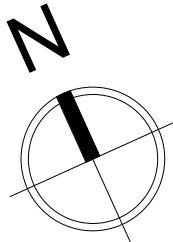
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DRAWING TITLE
Block A2 - Level 00 - Proposed

SUITABILITY CODE									
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32398	BGL	A2	00	DR	A	12000	P11		



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P03	Issued to Design Team for comments	02/07/2024
P02	Issued to client for comments	27/06/2024
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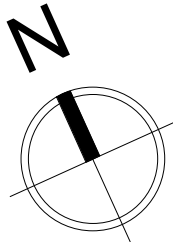
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PROJECT NAME
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DRAWING TITLE
Block A2 - Level 01 - Proposed

SUITABILITY CODE									
S2 - Suitable for Information									
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32398	BGL	A2	01	DR	A	12001	P11		

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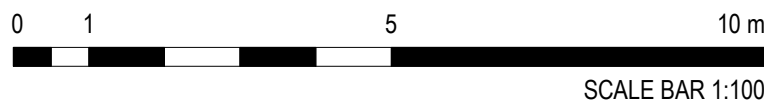
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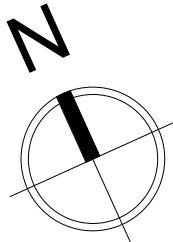
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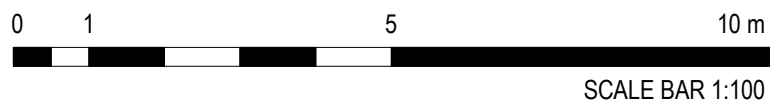
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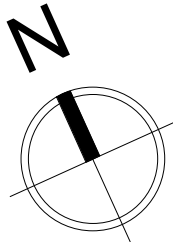
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Block A2 - Level 03 - Proposed

SUITABILITY CODE									
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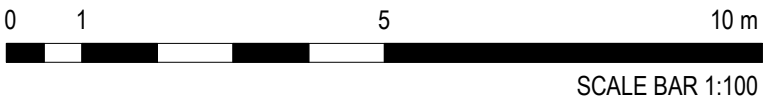
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DRAWING TITLE
Block A2 - Level 04 - Proposed

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32398	BGL	A2	04	DR	A	12004	P11		



SCALE BAR 1:100



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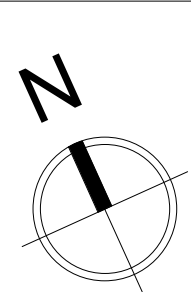
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P05	Issued to Client for comment	20/09/2024
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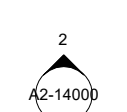
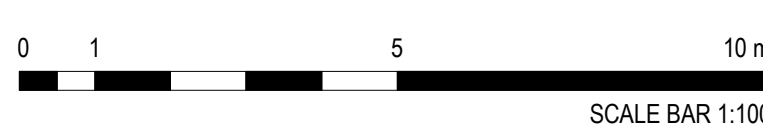
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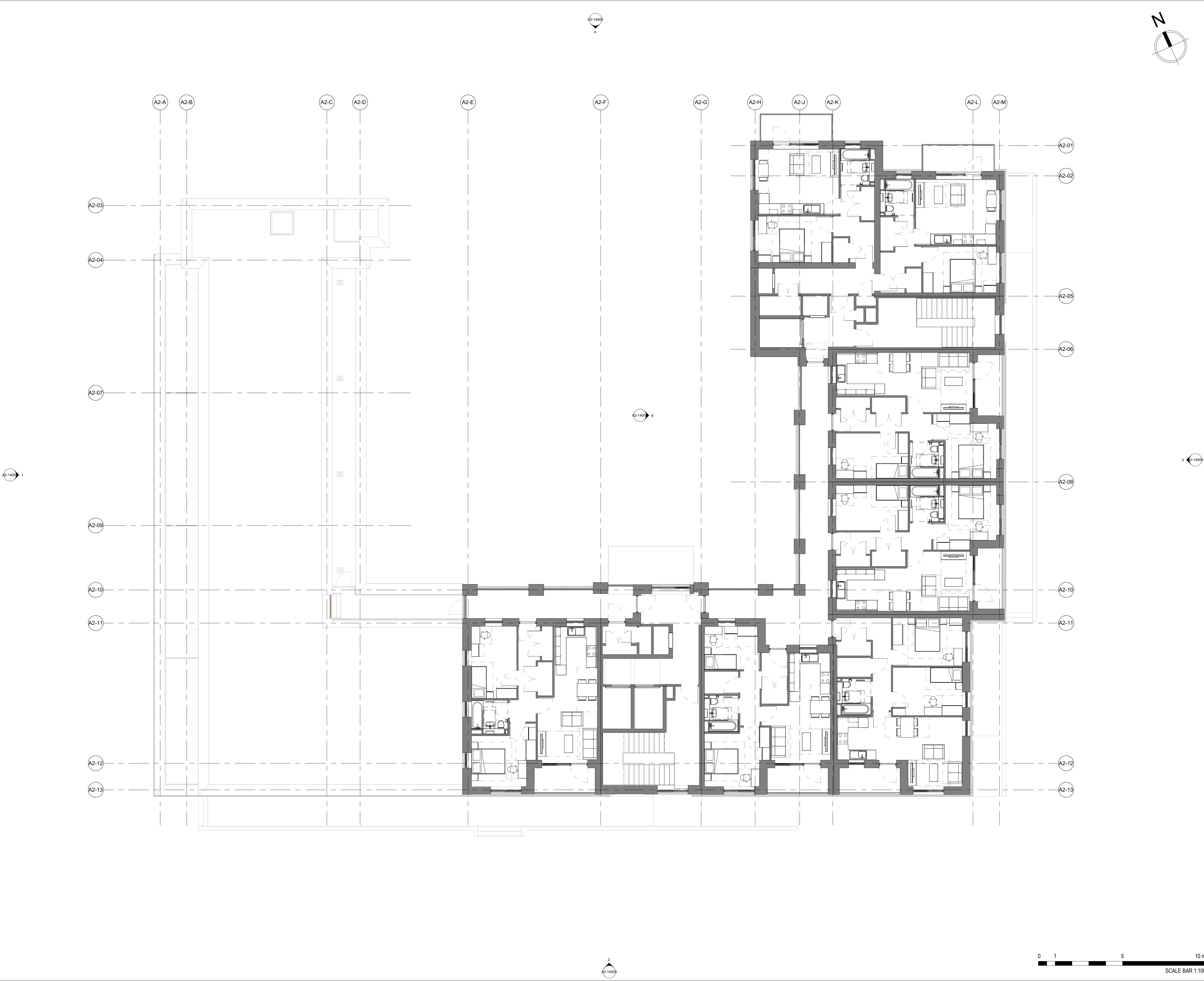
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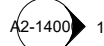
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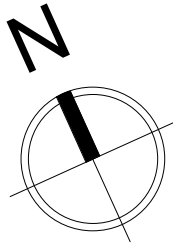
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Block A2 - Level 09 - Proposed

S2 - Suitable for Information

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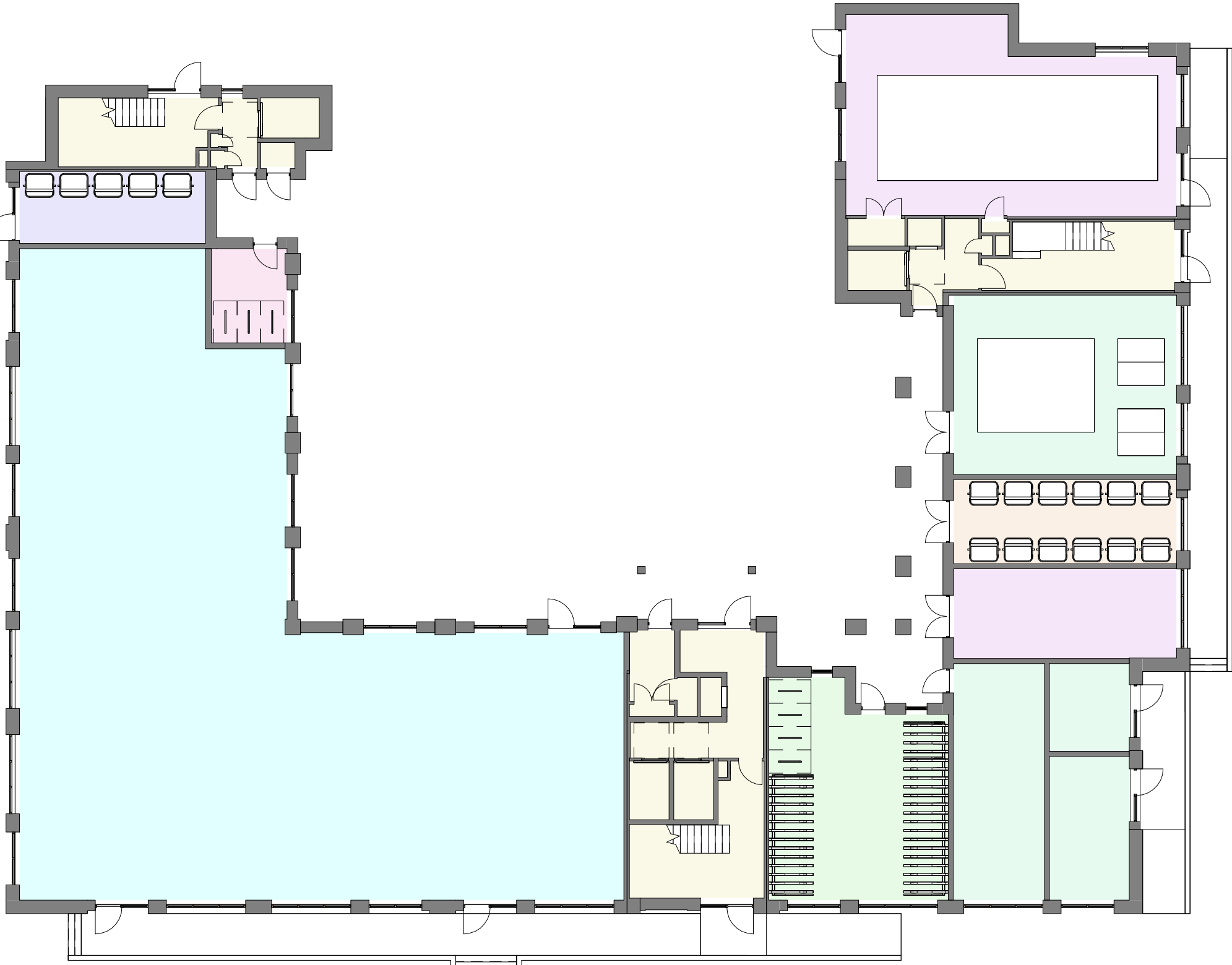
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- 2 Bedroom flat
- Bin store
- Circulation
- Commercial space
- Commercial bin store
- Commercial plant room
- Cycle store
- Plant room
- Private garden
- Roof space

Area Schedule (GEA)_A2

Unit Block	Level	Area
Block A2	Level A2_00	1187 m ²
Block A2	Level A2_01	1169 m ²
Block A2	Level A2_02	1169 m ²
Block A2	Level A2_03	1169 m ²
Block A2	Level A2_04	1105 m ²
Block A2	Level A2_05	1121 m ²
Block A2	Level A2_06	693 m ²
Block A2	Level A2_07	693 m ²
Block A2	Level A2_08	693 m ²
Block A2	Level A2_09	728 m ²
		9725 m ²

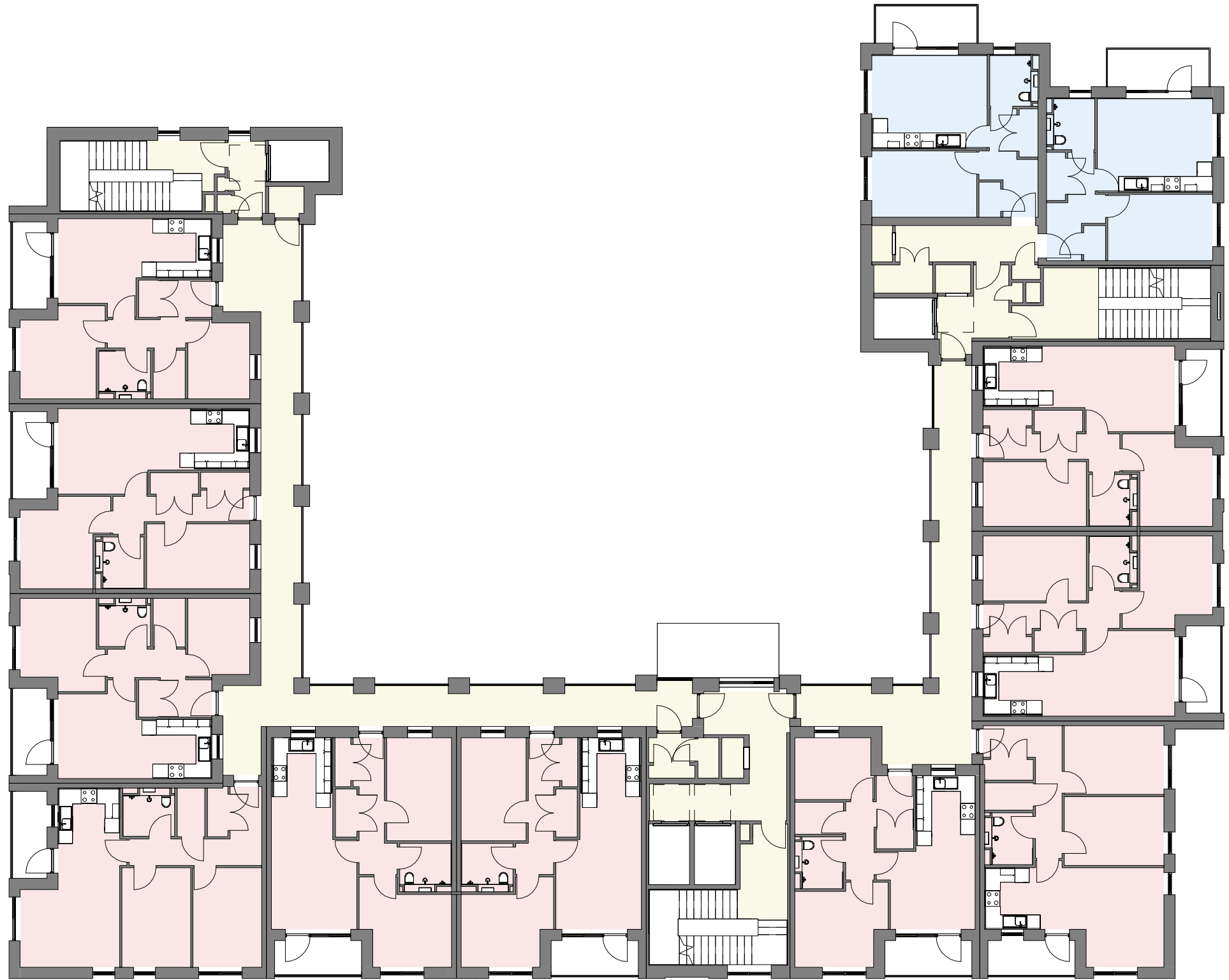
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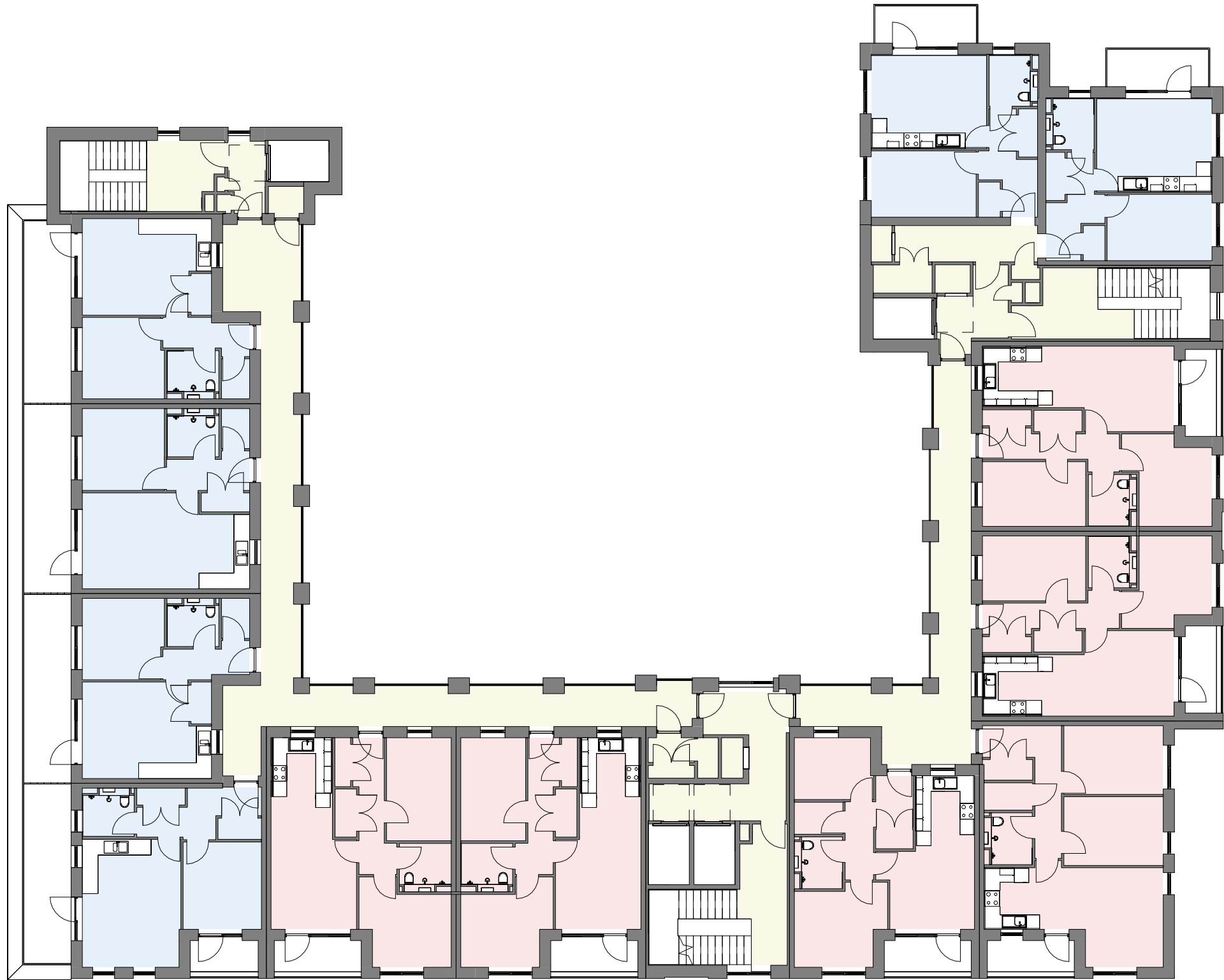
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1 : 200



4 - Level 04


1 : 200



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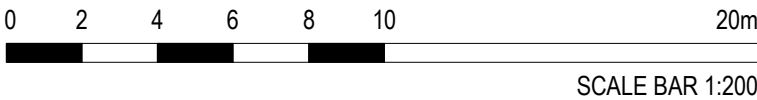
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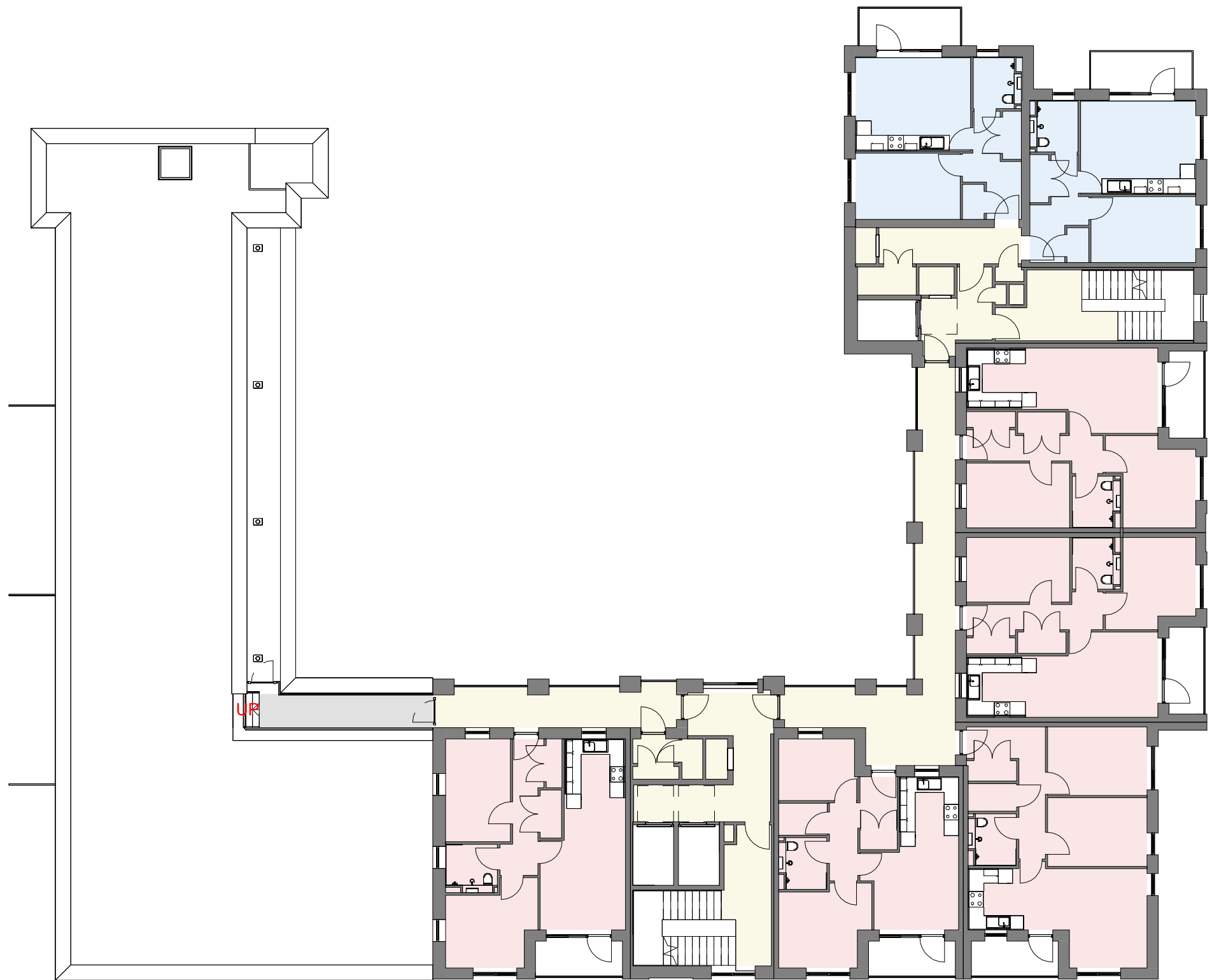
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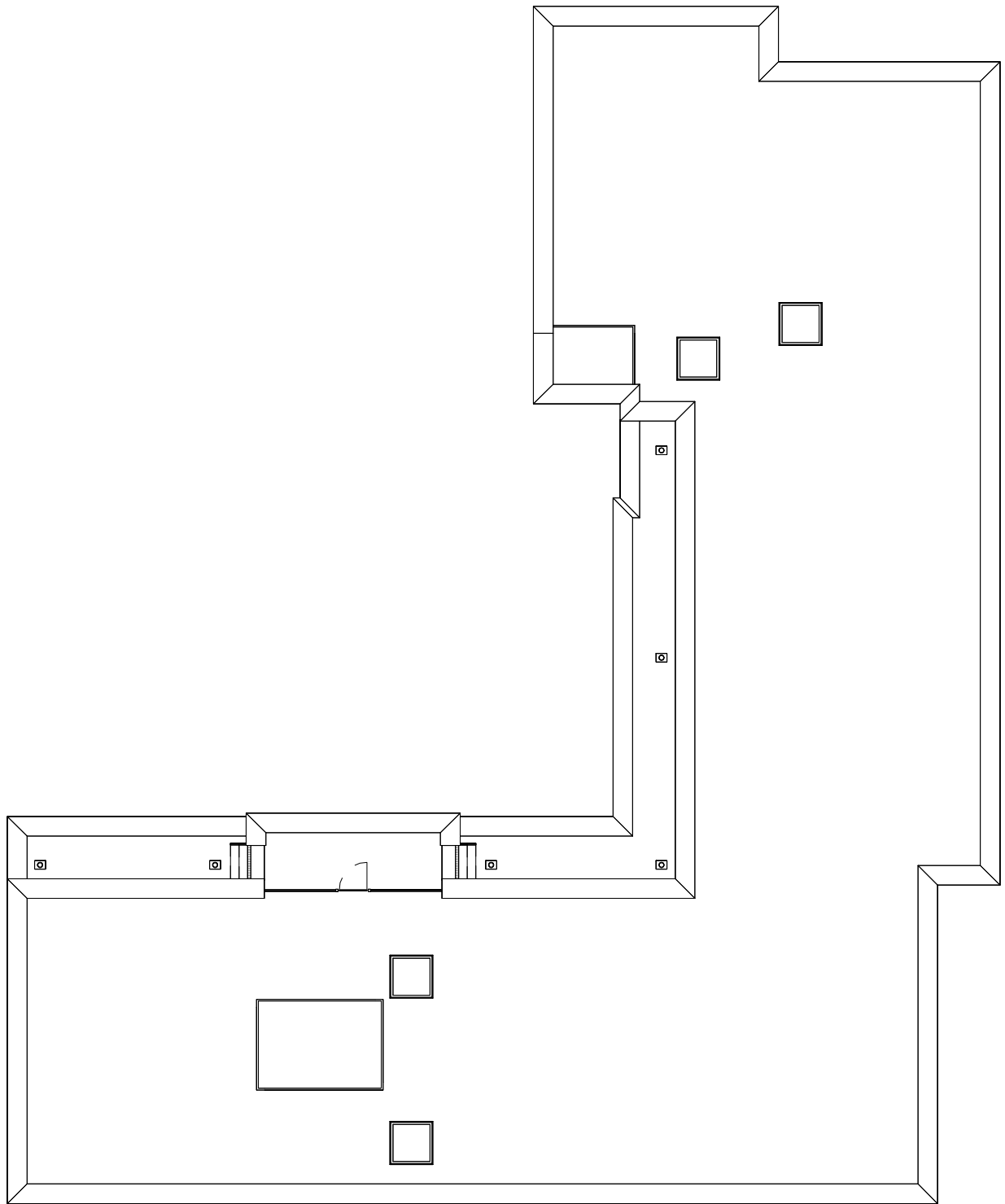


SCALE BAR 1:200

1 - Level 05 to 08
1 : 200



4 - Level A2_09
1 : 200



Area Schedule (NIA)_A2								
Unit Block	Level	Unit Size	Unit Type	Area	Accessibility	Tenure	Usage	Count
Block A2	Level A2_00	Bin Store	Ancillary	34.31 m²			Residential	1
Block A2	Level A2_00	Circulation	Ancillary	31.64 m²			Residential	1
Block A2	Level A2_00	Circulation	Ancillary	42.69 m²			Residential	1
Block A2	Level A2_00	Circulation	Ancillary	65.49 m²			Residential	1
Block A2	Level A2_00	Commercial Bin Store	Ancillary	24.48 m²			Commercial	1
Block A2	Level A2_00	Commercial Cycle Store	Ancillary	12.98 m²			Commercial	1
Block A2	Level A2_00	Commercial Plant Room	Ancillary	36.58 m²			Commercial	1
Block A2	Level A2_00	Commercial Plant Room	Ancillary	109.09 m²			Commercial	1
Block A2	Level A2_00	Commercial Space	Ancillary	467.87 m²			Commercial	1
Block A2	Level A2_00	Cycle Store	Ancillary	66.06 m²			Residential	1
Block A2	Level A2_00	Plant Room	Ancillary	73.01 m²			Residential	1
Block A2	Level A2_00	Plant Room	Ancillary	76.00 m²			Residential	1
Block A2	Level A2_01	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	2
Block A2	Level A2_01	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	5
Block A2	Level A2_01	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	2
Block A2	Level A2_01	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	3
Block A2	Level A2_01	Circulation	Ancillary	197.98 m²			Residential	1
Block A2	Level A2_02	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	2
Block A2	Level A2_02	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	5
Block A2	Level A2_02	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	2
Block A2	Level A2_02	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	3
Block A2	Level A2_02	Circulation	Ancillary	206.44 m²			Residential	1
Block A2	Level A2_03	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	2
Block A2	Level A2_03	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	5
Block A2	Level A2_03	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	2
Block A2	Level A2_03	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	3
Block A2	Level A2_03	Circulation	Ancillary	206.44 m²			Residential	1
Block A2	Level A2_04	1B/2P	AZ_Type 1	45.04 m²	M4(1)	Affordable	Residential	2
Block A2	Level A2_04	1B/2P	AZ_Type 2	51.84 m²	M4(1)	Affordable	Residential	1
Block A2	Level A2_04	1B/2P	AZ_Type 3	49.88 m²	M4(1)	Affordable	Residential	1
Block A2	Level A2_04	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	2
Block A2	Level A2_04	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	4
Block A2	Level A2_04	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	1
Block A2	Level A2_04	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	1
Block A2	Level A2_04	Circulation	Ancillary	206.44 m²			Residential	1
Block A2	Level A2_05	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	2
Block A2	Level A2_05	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	3
Block A2	Level A2_05	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	1
Block A2	Level A2_05	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	1
Block A2	Level A2_05	Circulation	Ancillary	132.80 m²			Residential	1
Block A2	Level A2_05	Roof Space	Ancillary	338.13 m²			Residential	1
Block A2	Level A2_06	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	2
Block A2	Level A2_06	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	3
Block A2	Level A2_06	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	1
Block A2	Level A2_06	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	1
Block A2	Level A2_06	Circulation	Ancillary	132.80 m²			Residential	1
Block A2	Level A2_07	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	2
Block A2	Level A2_07	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	3
Block A2	Level A2_07	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	1
Block A2	Level A2_07	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	1
Block A2	Level A2_07	Circulation	Ancillary	132.80 m²			Residential	1
Block A2	Level A2_08	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	2
Block A2	Level A2_08	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	3
Block A2	Level A2_08	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	1
Block A2	Level A2_08	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	1
Block A2	Level A2_08	Circulation	Ancillary	132.89 m²			Residential	1
Block A2	Level A2_09	Roof Space	Ancillary	578.64 m²			Residential	1

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Key Legend

- 1 Bedroom flat
- 2 Bedroom flat
- Bin store
- Circulation
- Commercial space
- Commercial bin store
- Commercial plant room
- Cycle store
- Plant room
- Private garden
- Roof space

Area Schedule (GEA)_A2

Unit Block	Level	Area
Block A2	Level A2_00	1187 m²
Block A2	Level A2_01	1169 m²
Block A2	Level A2_02	1169 m²
Block A2	Level A2_03	1169 m²
Block A2	Level A2_04	1105 m²
Block A2	Level A2_05	1121 m²
Block A2	Level A2_06	693 m²
Block A2	Level A2_07	693 m²
Block A2	Level A2_08	693 m²
Block A2	Level A2_09	728 m²
		9725 m²

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P05	Issued to Design Team for comments	08/01/2025
P04	Issued to Client for comment	20/09/2024
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Block A2 - Indicative NIA Plans

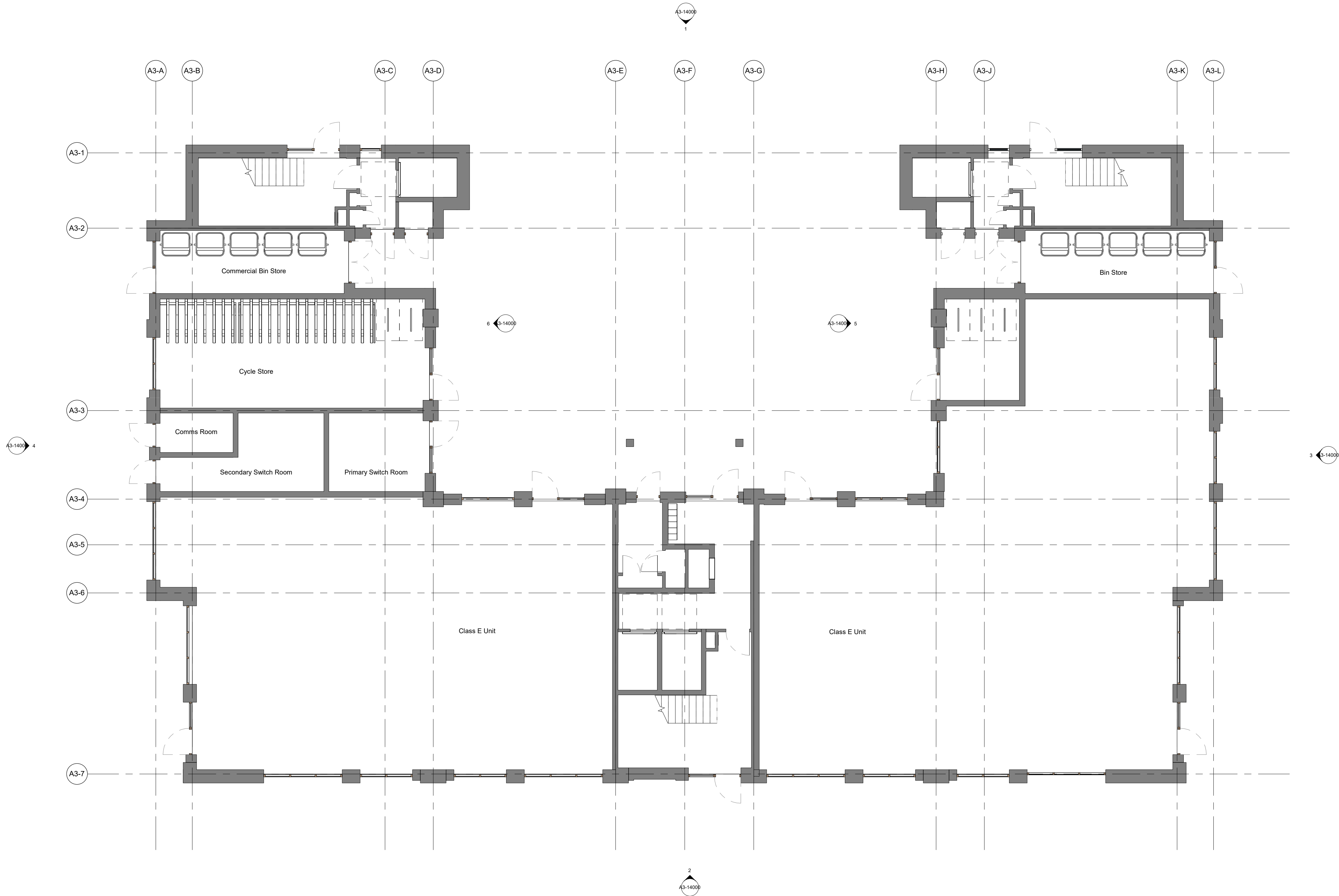
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32398	BGL	A2	ZZ	DR
ROLE	DRW NO	REV NO		
A	12021	P10		

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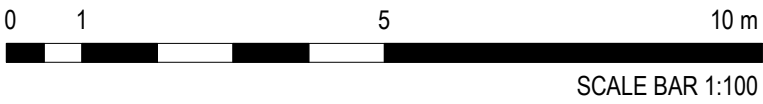
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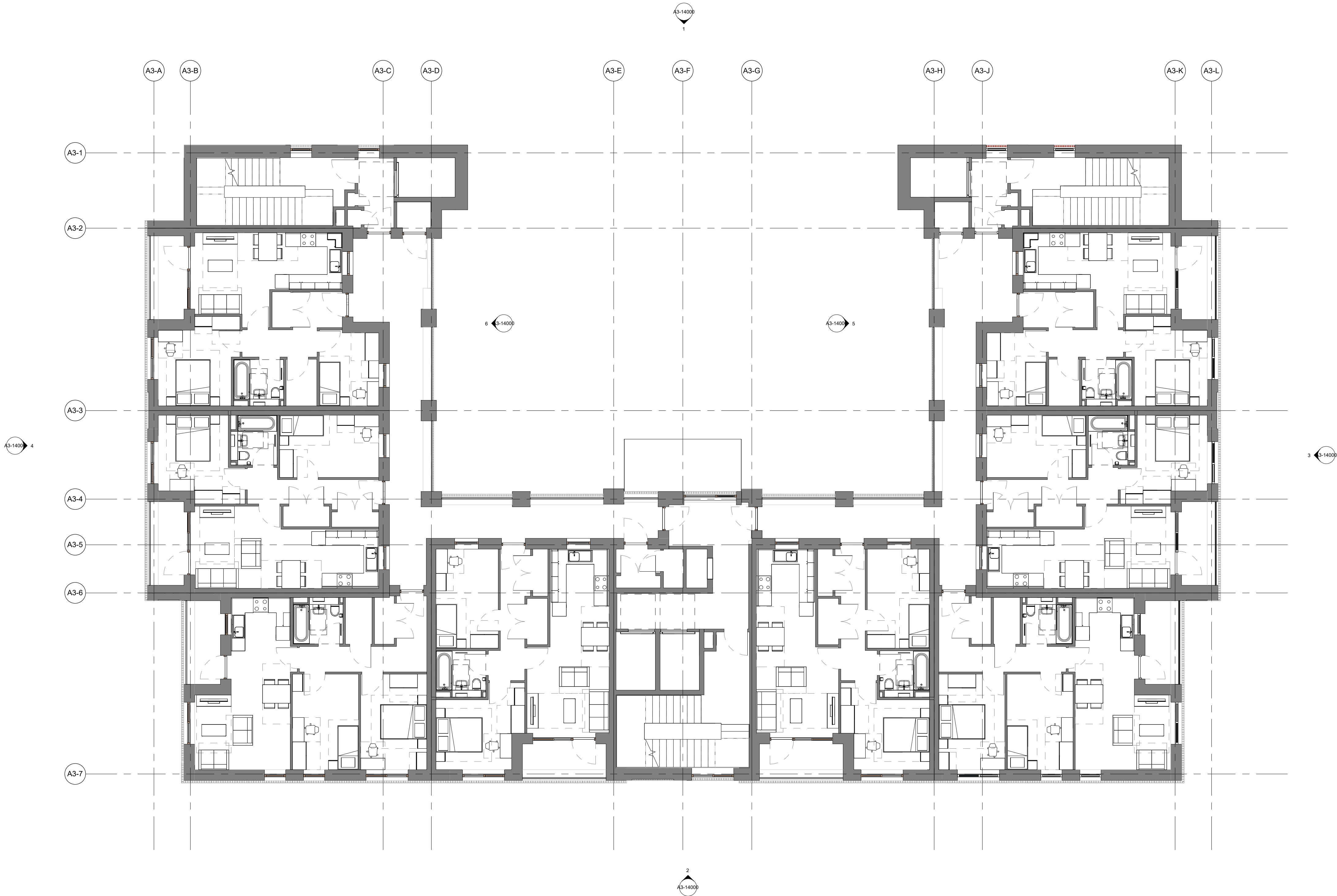
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32398	BGL	A3	00	DR	A	12000	P11		



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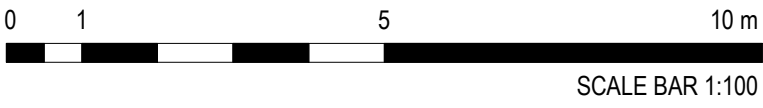
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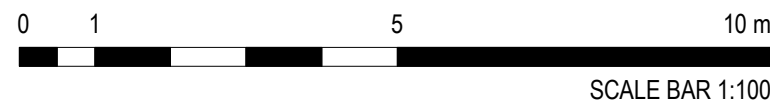
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32398 - BGL - A3 - 01 - DR - A - 12001 | P11





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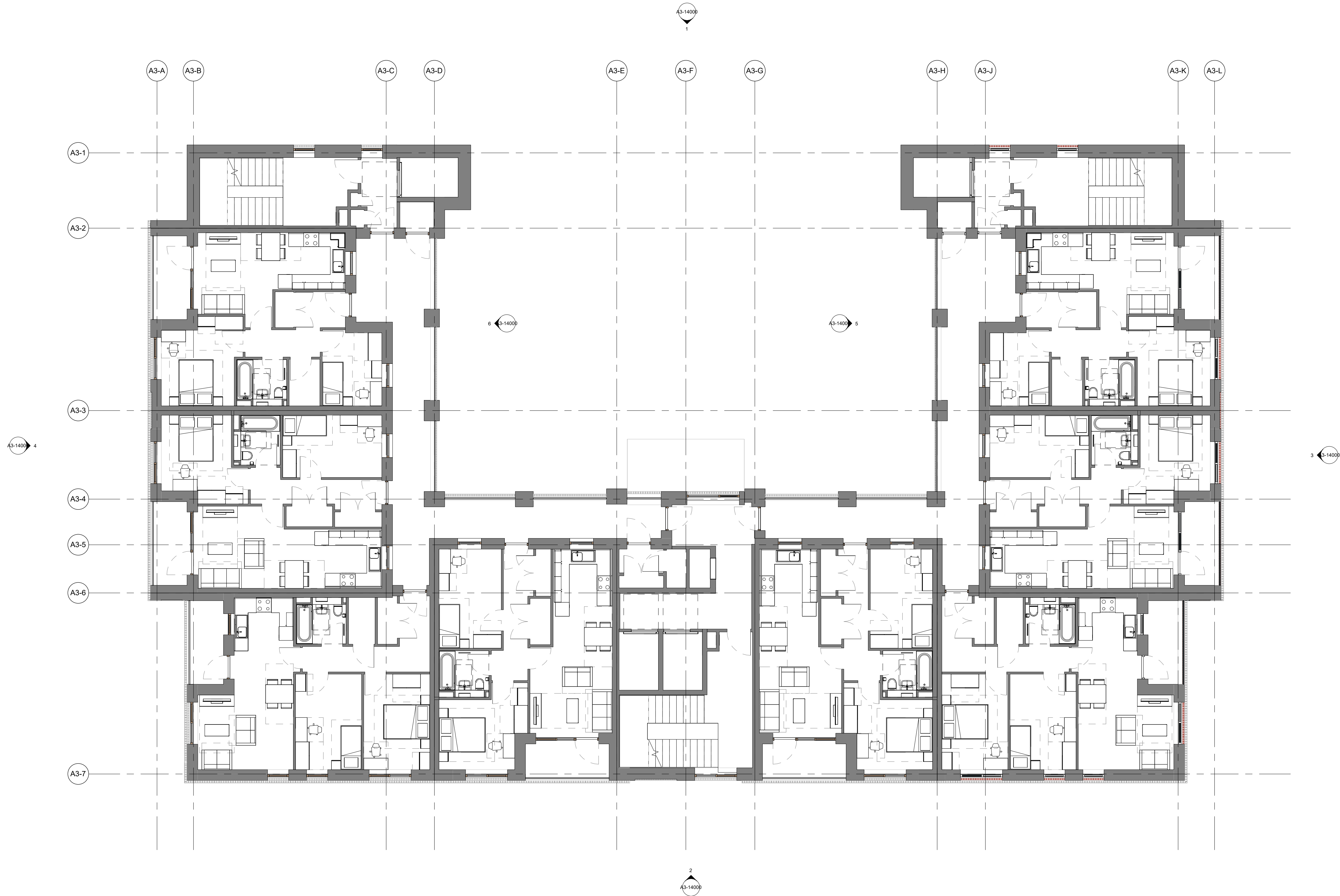
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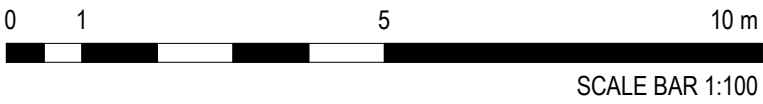


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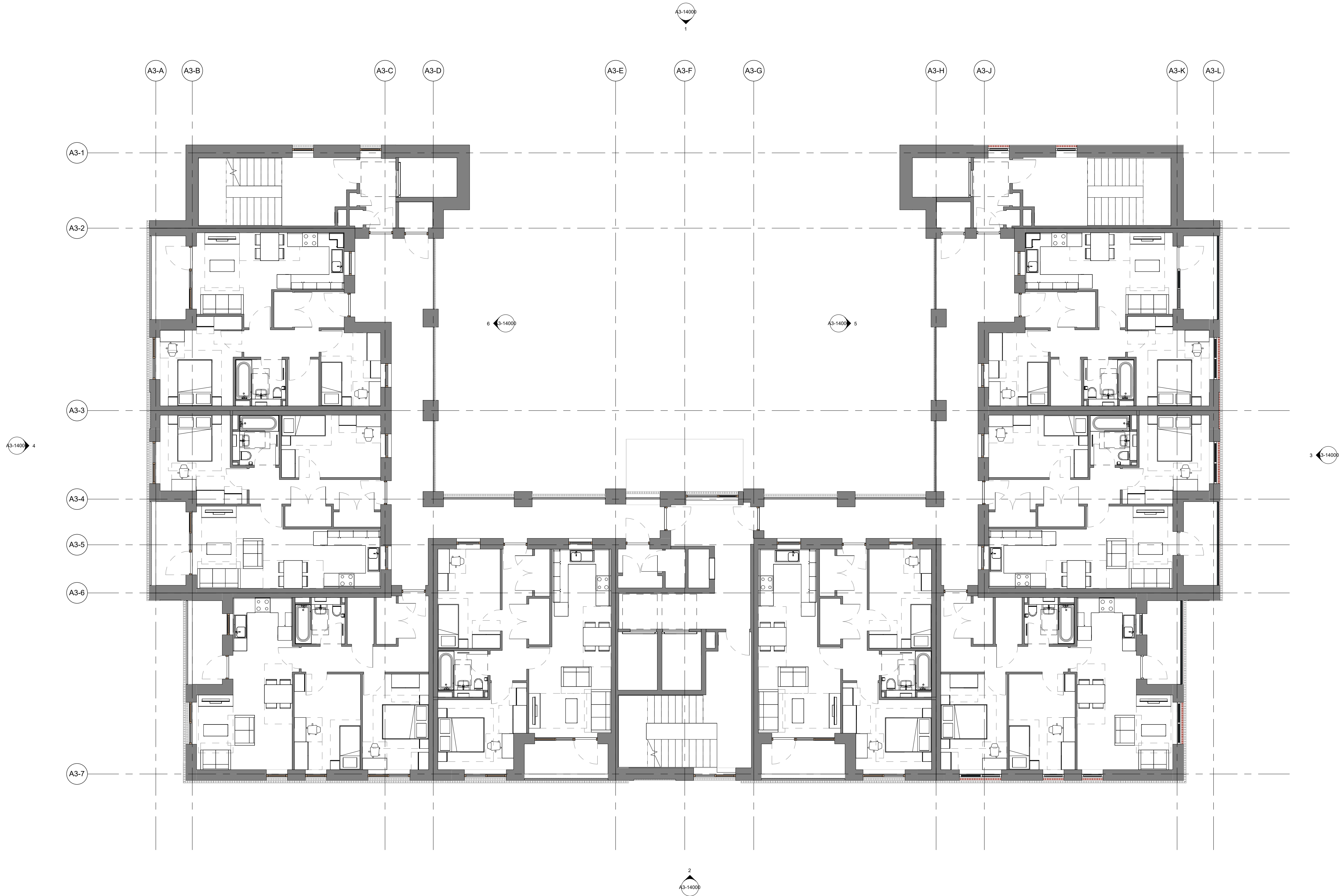
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32398	BGL	A3	03	DR	A	12003	P11		




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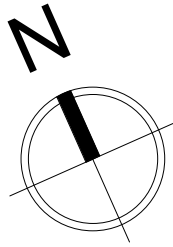
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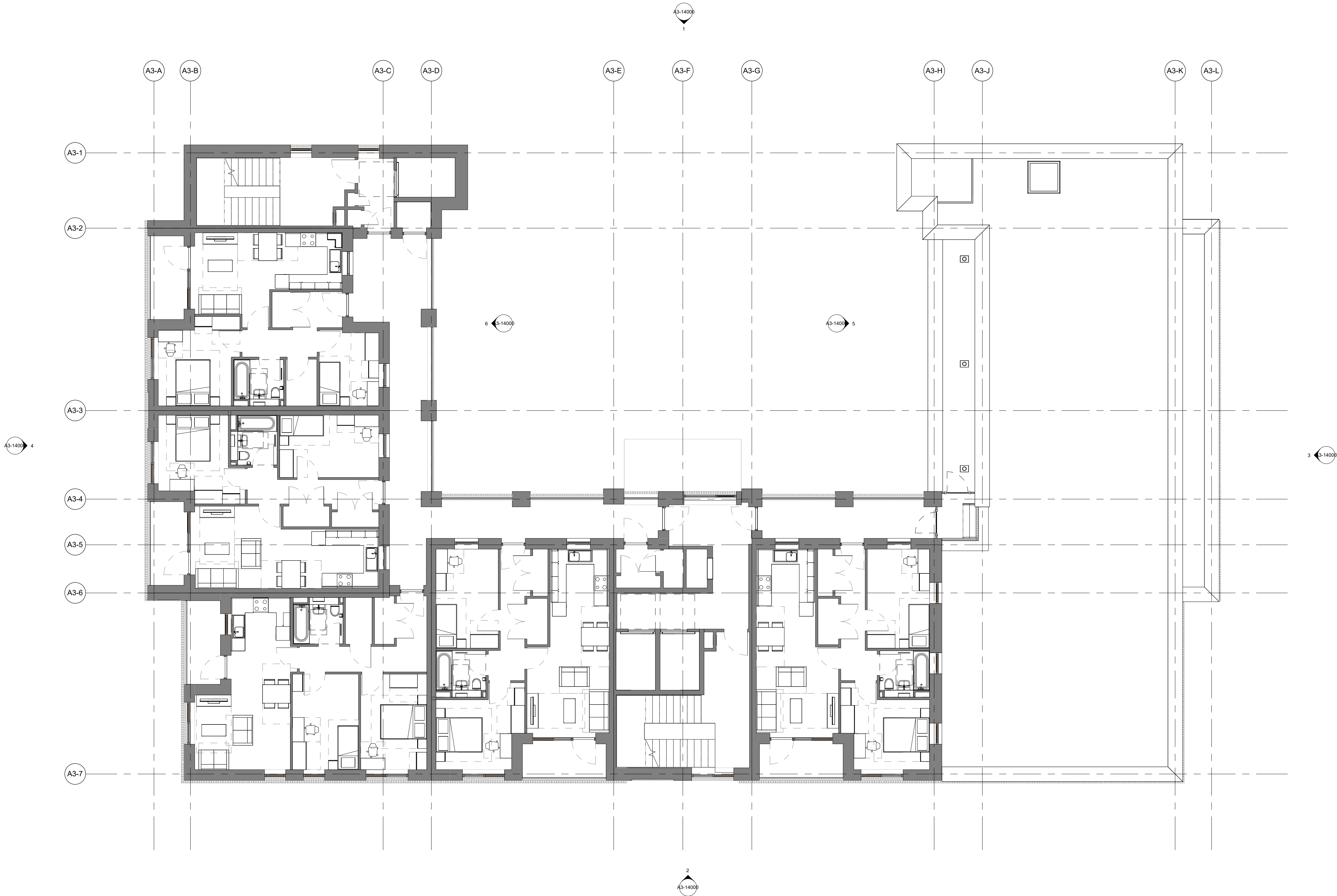
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32398	BGL	A3	04	DR	A	12004	P11		



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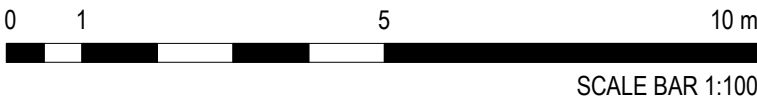
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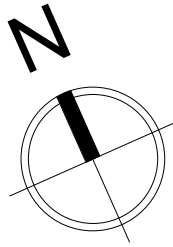
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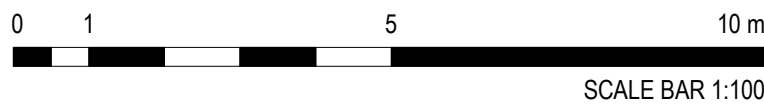
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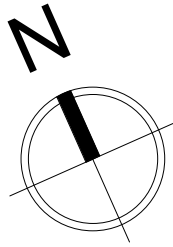
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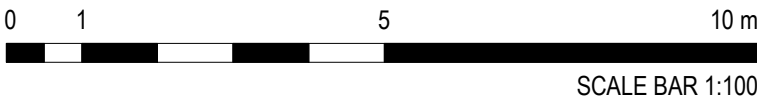
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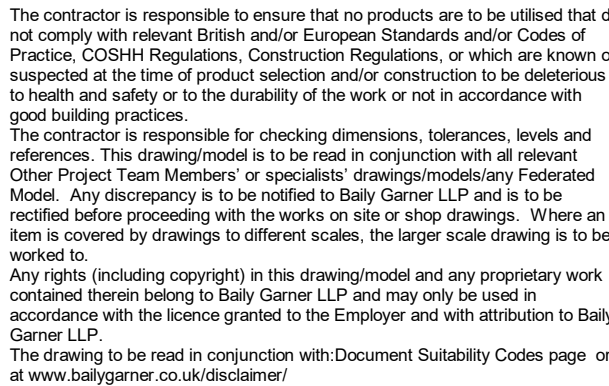
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32398	BGL	A3	07	DR	A	12007	P11





Architectural floor plan of a building, oriented with North at the top. The plan is overlaid with a grid system labeled A3-A through A3-L horizontally and A3-1 through A3-7 vertically. The building footprint is shown with thick black lines. The plan includes several rooms, including bedrooms, bathrooms, and a central staircase. A large open area is labeled 'A3-14000' with a circular arrow indicating a 14000 unit measurement. The plan is oriented with North at the top.

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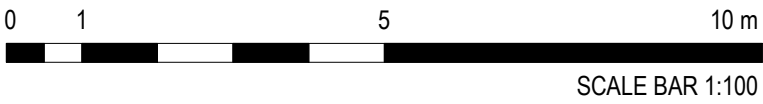
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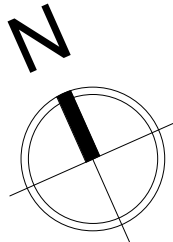
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Block A3 - Level 08 - Proposed

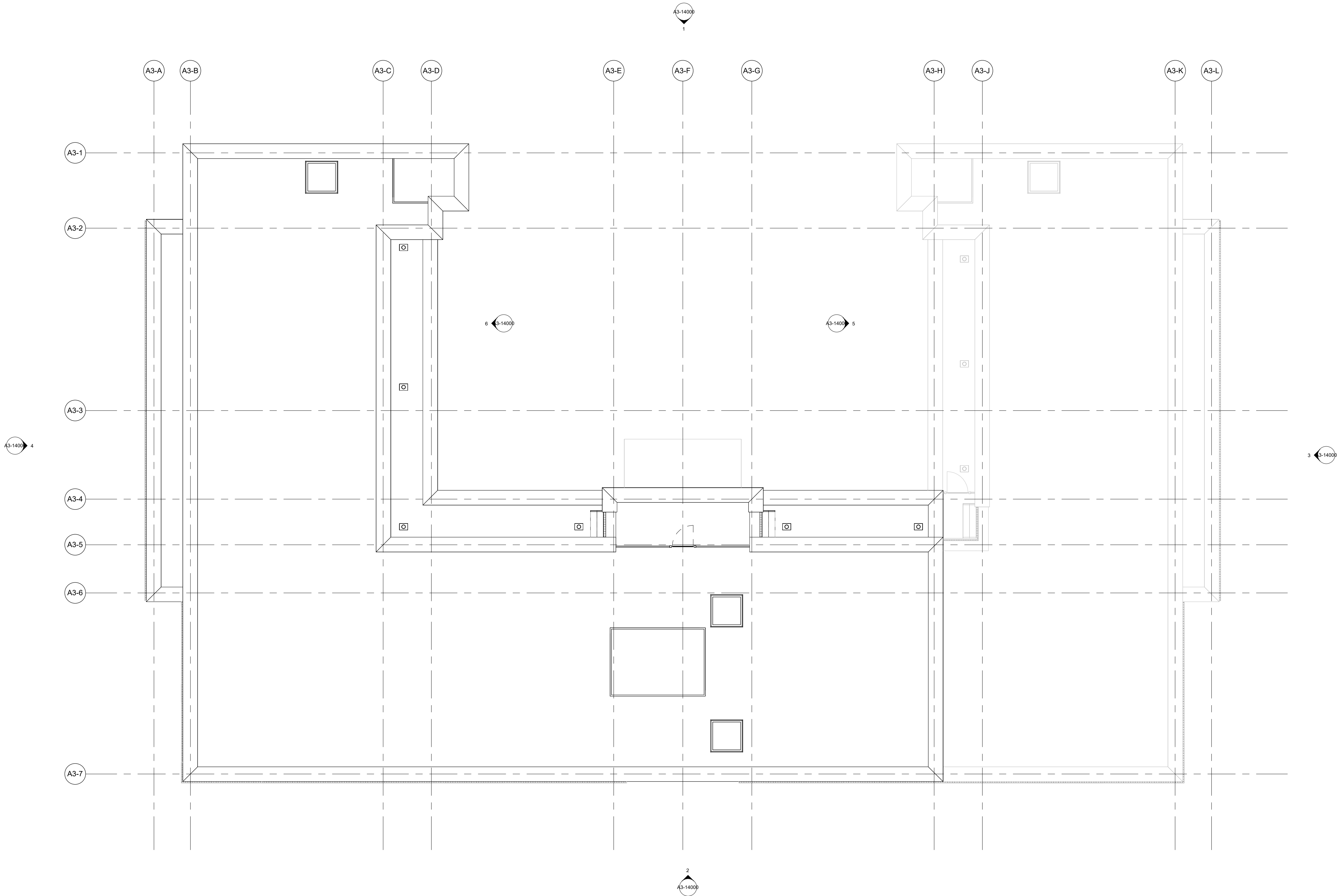
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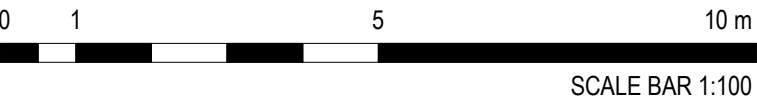
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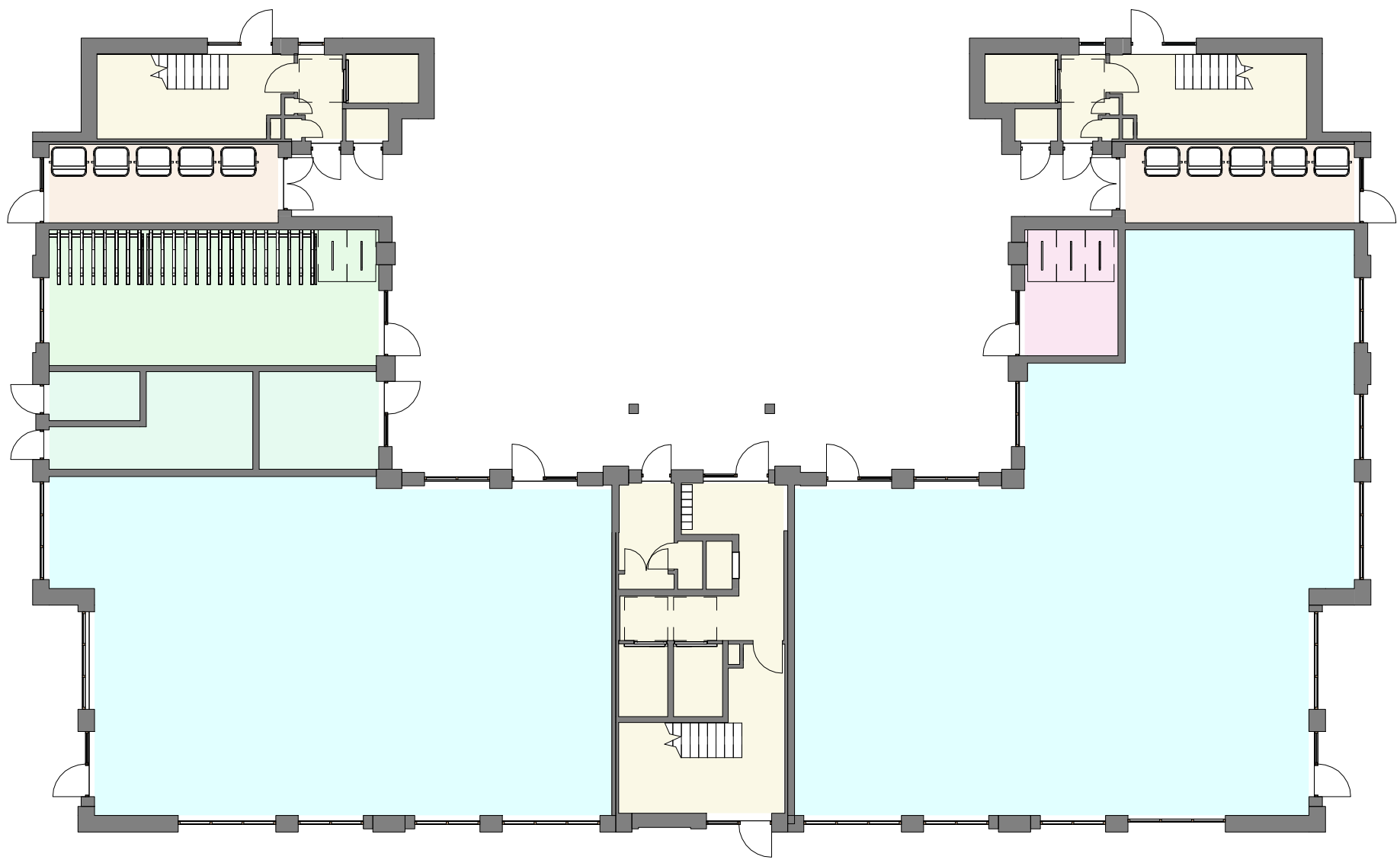
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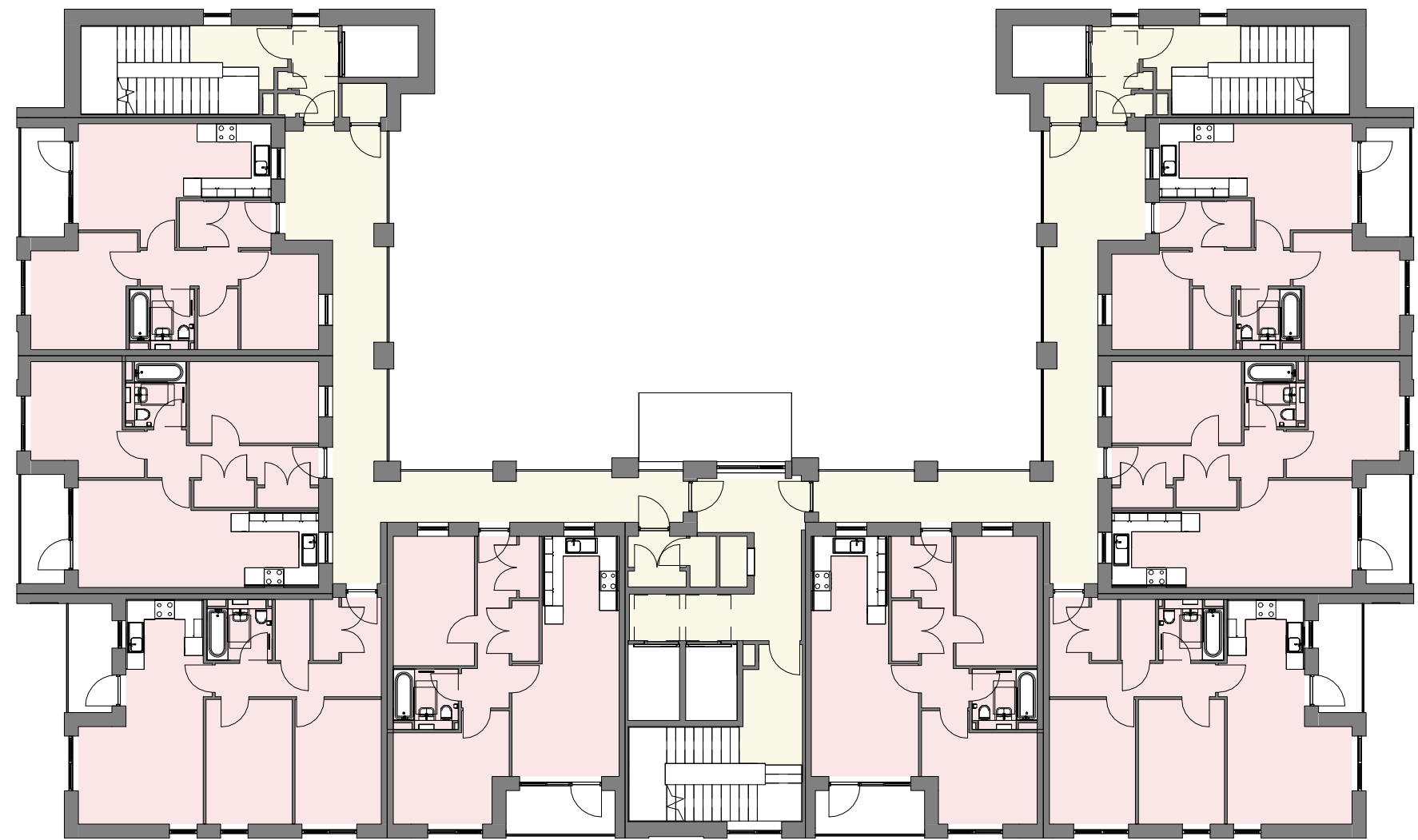
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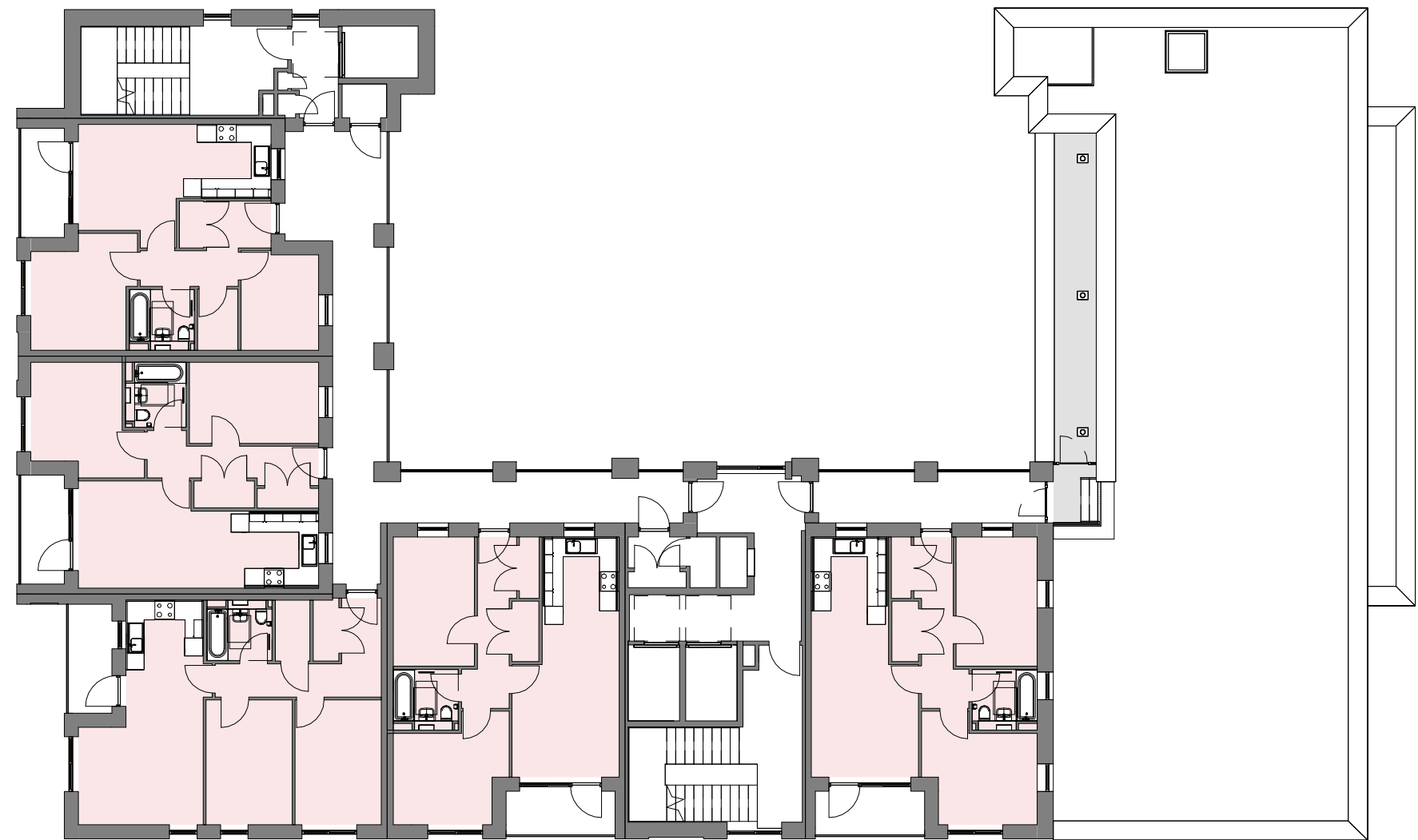




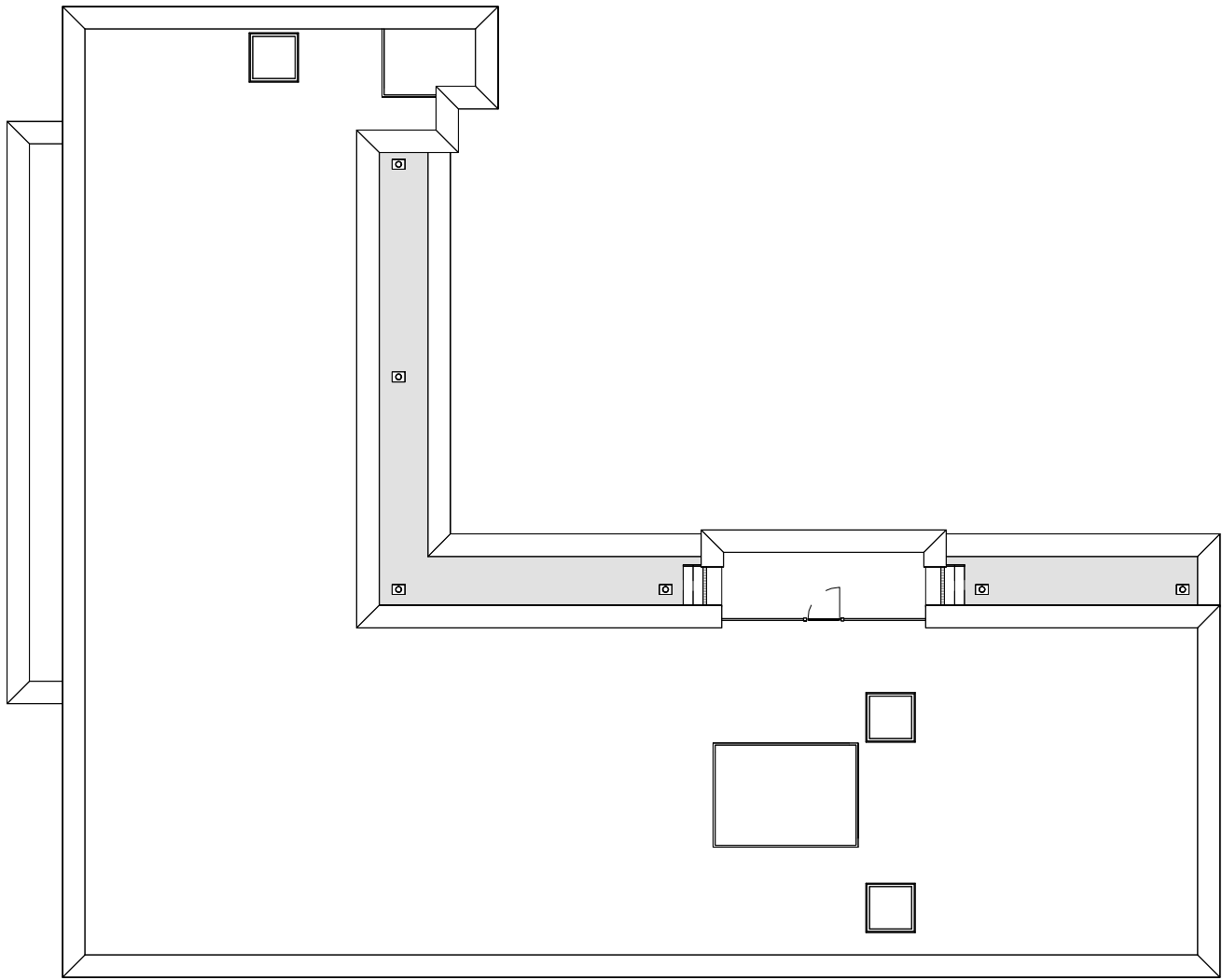
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2 - Level 01 to 04
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3 - Level 05
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4 - Level A3_09
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Area Schedule (NIA)_A3								
Unit Block	Level	Unit Size	Unit Type	Area	Accessibility	Tenure	Usage	Count
Block A3	Level A3_00	Bin Store	Ancillary	21.62 m²			Residential	2
Block A3	Level A3_00	Circulation	Ancillary	31.64 m²			Residential	2
Block A3	Level A3_00	Circulation	Ancillary	65.34 m²			Residential	1
Block A3	Level A3_00	Class E Unit	Ancillary	214.04 m²			Commercial	1
Block A3	Level A3_00	Class E Unit	Ancillary	294.38 m²			Commercial	1
Block A3	Level A3_00	Commercial Cycle Store	Ancillary	14.15 m²			Commercial	1
Block A3	Level A3_00	Cycle Store	Ancillary	53.86 m²			Residential	1
Block A3	Level A3_00	Plant Room	Ancillary	38.72 m²			Residential	1
Block A3	Level A3_01	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	4
Block A3	Level A3_01	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	2
Block A3	Level A3_01	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	2
Block A3	Level A3_01	Circulation	Ancillary	156.09 m²			Residential	1
Block A3	Level A3_02	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	4
Block A3	Level A3_02	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	2
Block A3	Level A3_02	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	2
Block A3	Level A3_02	Circulation	Ancillary	166.36 m²			Residential	1
Block A3	Level A3_03	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	4
Block A3	Level A3_03	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	2
Block A3	Level A3_03	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	2
Block A3	Level A3_03	Circulation	Ancillary	166.36 m²			Residential	1
Block A3	Level A3_04	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	4
Block A3	Level A3_04	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	2
Block A3	Level A3_04	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	2
Block A3	Level A3_04	Circulation	Ancillary	166.36 m²			Residential	1
Block A3	Level A3_05	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	3
Block A3	Level A3_05	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	1
Block A3	Level A3_05	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	1
Block A3	Level A3_05	Circulation	Ancillary	117.50 m²			Residential	1
Block A3	Level A3_05	Roof Space	Ancillary	285.05 m²			Residential	1
Block A3	Level A3_06	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	3
Block A3	Level A3_06	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	1
Block A3	Level A3_06	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	1
Block A3	Level A3_06	Circulation	Ancillary	117.20 m²			Residential	1
Block A3	Level A3_07	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	3
Block A3	Level A3_07	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	1
Block A3	Level A3_07	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	1
Block A3	Level A3_07	Circulation	Ancillary	118.06 m²			Residential	1
Block A3	Level A3_08	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	3
Block A3	Level A3_08	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	1
Block A3	Level A3_08	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	1
Block A3	Level A3_08	Circulation	Ancillary	117.33 m²			Residential	1
Block A3	Level A3_09	Roof Space	Ancillary	536.14 m²			Residential	1

Area Schedule (GEA)_A3		
Unit Block	Level	Area
Block A3	Level A3_00	907 m²
Block A3	Level A3_01	869 m²
Block A3	Level A3_02	869 m²
Block A3	Level A3_03	869 m²
Block A3	Level A3_04	869 m²
Block A3	Level A3_05	889 m²
Block A3	Level A3_06	566 m²
Block A3	Level A3_07	566 m²
Block A3	Level A3_08	566 m²
Block A3	Level A3_09	601 m²

Key Legend

- 1 Bedroom flat
- 2 Bedroom flat
- Bin store
- Circulation
- Commercial space
- Commercial bin store
- Commercial plant room
- Cycle store
- Plant room
- Private garden
- Roof space

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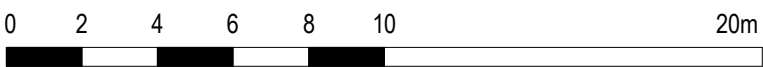
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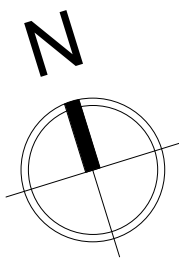
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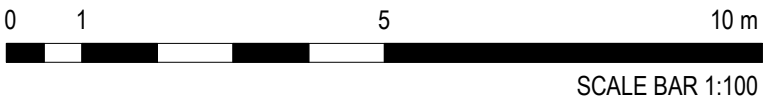
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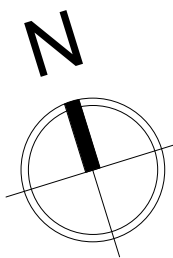
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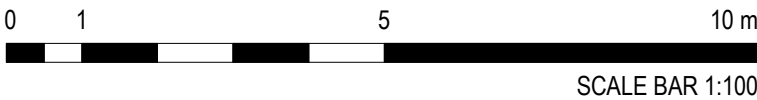
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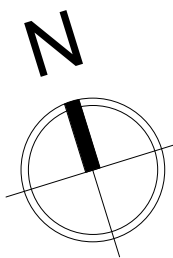
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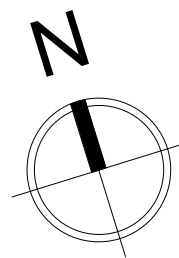
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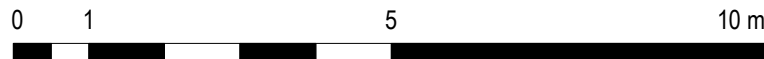
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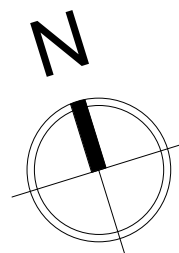
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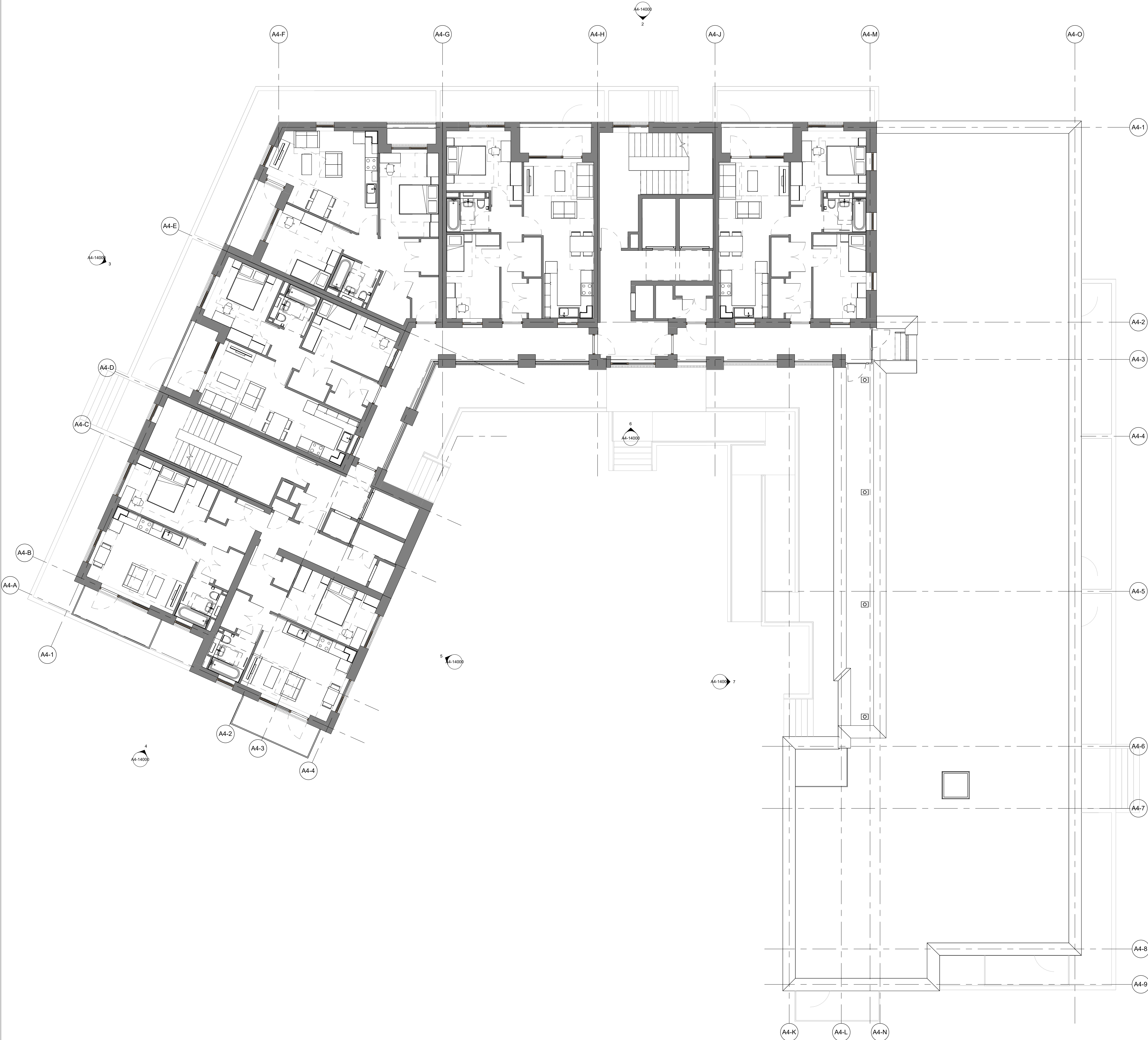
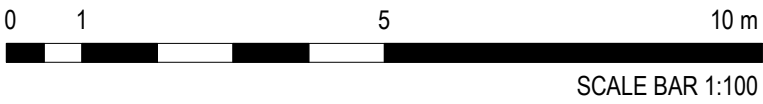
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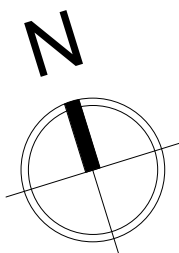
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DRAWING TITLE
Block A4 - Level 04 - Proposed

SUITABILITY CODE									
S2 - Suitable for Information									
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32398	BGL	A4	04	DR	A	12004	P11		



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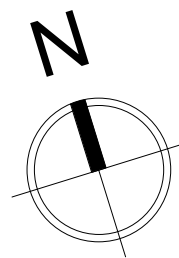
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DATE 20/02/2025

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32398 - BGL - A4 - 05 - DR - A - 12005 | P11

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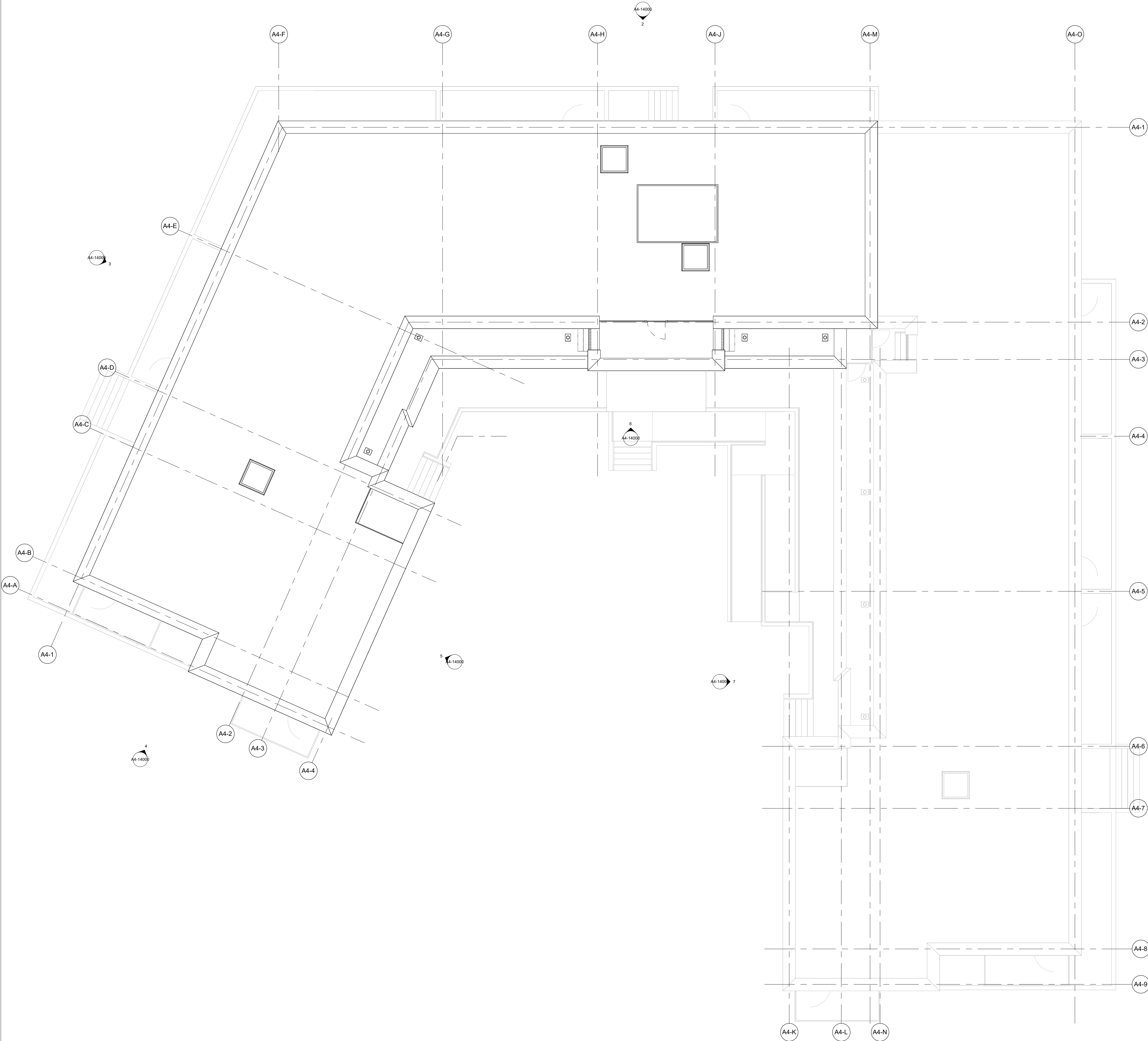
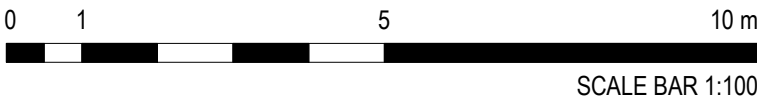
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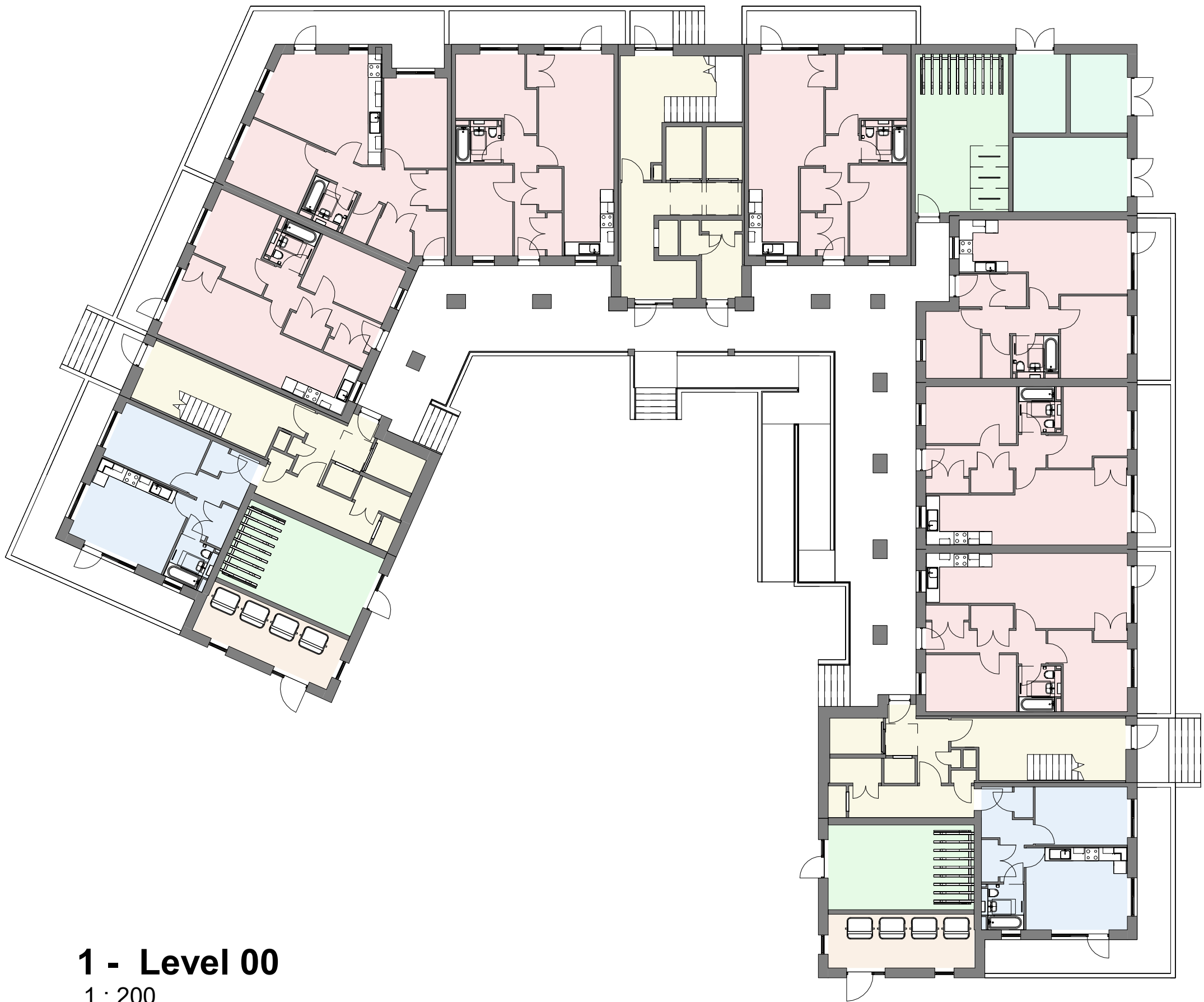
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PROJECT NAME
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DRAWING TITLE
Block A4 - Level 06 - Proposed

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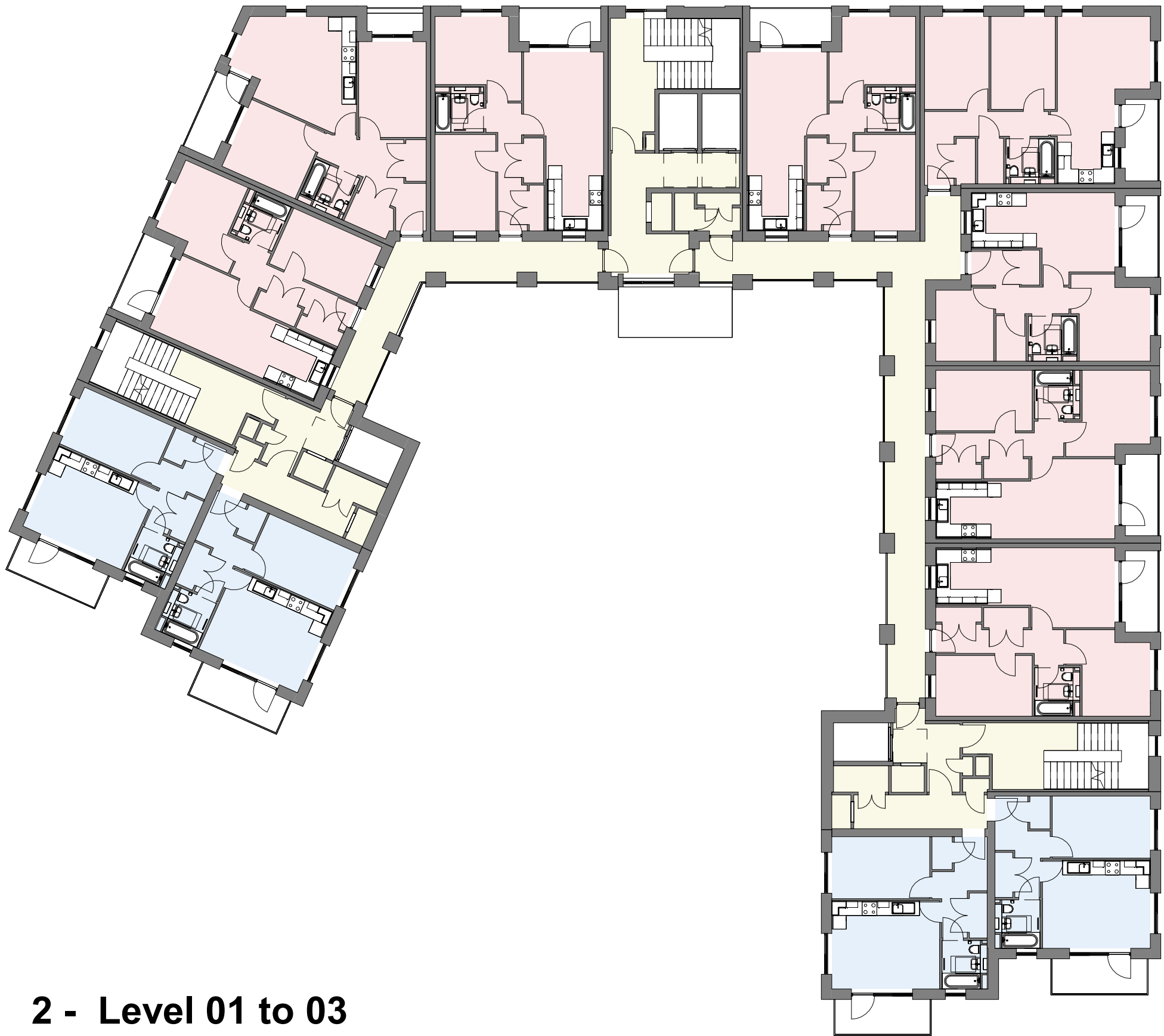




1 - Level 00
1 : 200



3 - Level 04
1 : 200



2 - Level 01 to 03
1 : 200

Area Schedule (GEA)_A4

Unit Block	Level	Area
Block A4	Level A4_00	1091 m²
Block A4	Level A4_01	1126 m²
Block A4	Level A4_02	1126 m²
Block A4	Level A4_03	1126 m²
Block A4	Level A4_04	609 m²
Block A4	Level A4_05	606 m²
Block A4	Level A4_06	636 m²
		6321 m²

Area Schedule (NIA)_A4

Unit Block	Level	Unit Size	Unit Type	Area	Accessibility	Tenure	Usage	Count
Block A4	Not Placed	Roof Space	Ancillary	Not Placed			Residential	1
Block A4	Level A4_00	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	2
Block A4	Level A4_00	2B/3P	A4_Type 1	74.76 m²	M4(2)	Affordable	Residential	1
Block A4	Level A4_00	2B/3P	AZ_Type 1	64.38 m²	M4(2)	Affordable	Residential	1
Block A4	Level A4_00	2B/3P	AZ_Type 3	71.18 m²	M4(2)	Affordable	Residential	5
Block A4	Level A4_00	Circulation	Ancillary	54.14 m²			Residential	2
Block A4	Level A4_00	Circulation	Ancillary	65.49 m²			Residential	1
Block A4	Level A4_01	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	4
Block A4	Level A4_01	2B/3P	A4_Type 2	68.13 m²	M4(2)	Affordable	Residential	1
Block A4	Level A4_01	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	5
Block A4	Level A4_01	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	1
Block A4	Level A4_01	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	1
Block A4	Level A4_01	Circulation	Ancillary	194.53 m²			Residential	1
Block A4	Level A4_02	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	4
Block A4	Level A4_02	2B/3P	A4_Type 2	68.13 m²	M4(2)	Affordable	Residential	1
Block A4	Level A4_02	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	5
Block A4	Level A4_02	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	1
Block A4	Level A4_02	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	1
Block A4	Level A4_02	Circulation	Ancillary	194.53 m²			Residential	1
Block A4	Level A4_03	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	4
Block A4	Level A4_03	2B/3P	A4_Type 2	68.13 m²	M4(2)	Affordable	Residential	1
Block A4	Level A4_03	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	5
Block A4	Level A4_03	2B/3P	AZ_Type 5	67.91 m²	M4(1)	Affordable	Residential	1
Block A4	Level A4_03	2B/3P	AZ_Type 6	57.75 m²	M4(1)	Affordable	Residential	1
Block A4	Level A4_03	Circulation	Ancillary	194.53 m²			Residential	1
Block A4	Level A4_04	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	2
Block A4	Level A4_04	2B/3P	A4_Type 2	68.13 m²	M4(2)	Affordable	Residential	1
Block A4	Level A4_04	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	3
Block A4	Level A4_04	Circulation	Ancillary	121.93 m²			Residential	1
Block A4	Level A4_04	Roof Space	Ancillary	445.18 m²			Residential	1
Block A4	Level A4_05	1B/2P	AZ_Type 2	46.56 m²	M4(1)	Affordable	Residential	2
Block A4	Level A4_05	2B/3P	A4_Type 2	68.13 m²	M4(2)	Affordable	Residential	1
Block A4	Level A4_05	2B/3P	AZ_Type 4	64.55 m²	M4(1)	Affordable	Residential	3
Block A4	Level A4_05	Circulation	Ancillary	116.29 m²			Residential	1
Block A4	Level A4_06	Roof Space	Ancillary	508.50 m²			Residential	1

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Key Legend

- 1 Bedroom flat
- 2 Bedroom flat
- Bin store
- Circulation
- Commercial space
- Commercial bin store
- Commercial plant room
- Cycle store
- Plant room
- Private garden
- Roof space

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P01	Issued to client for comments	18/06/2024
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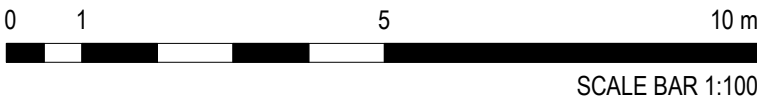
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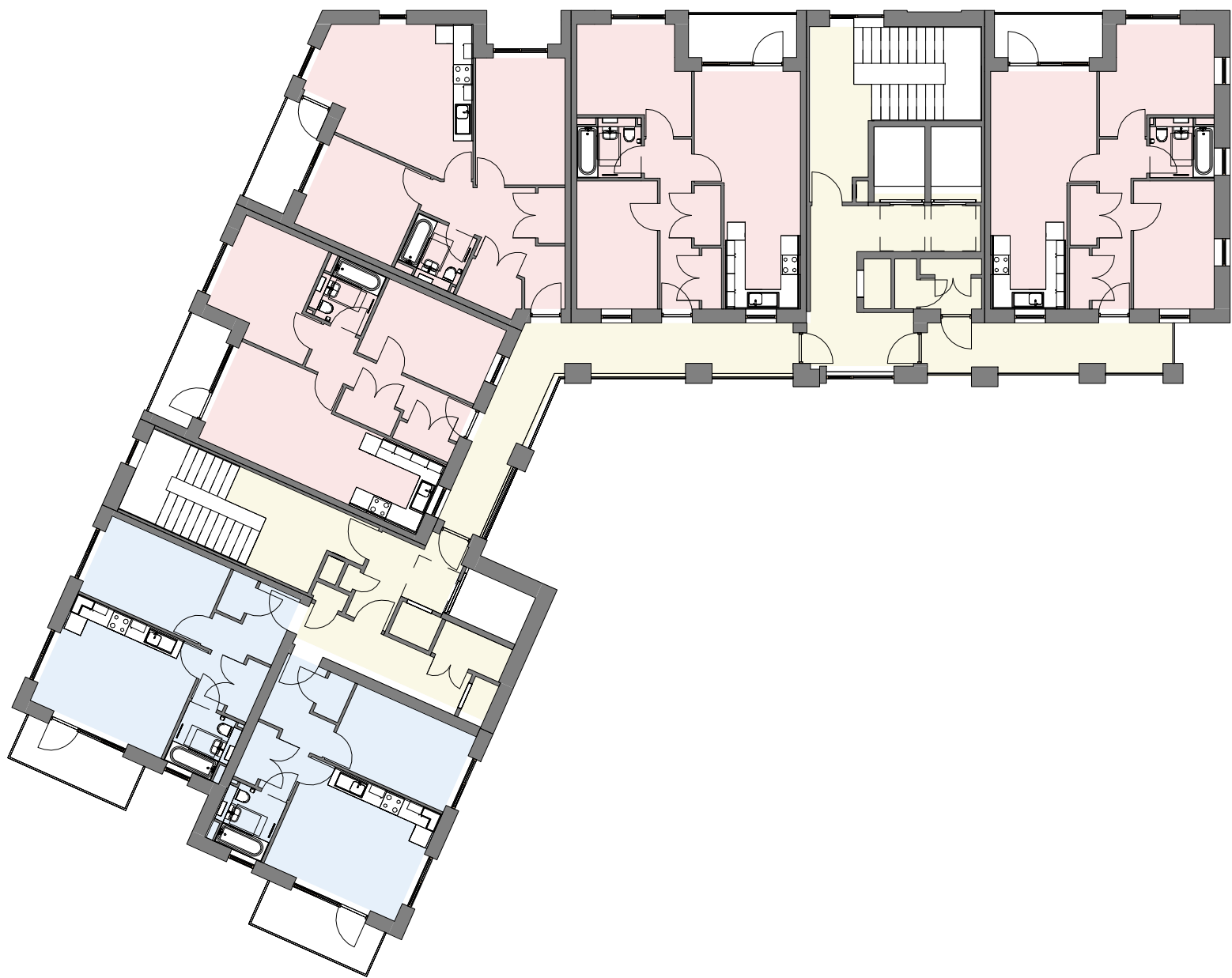
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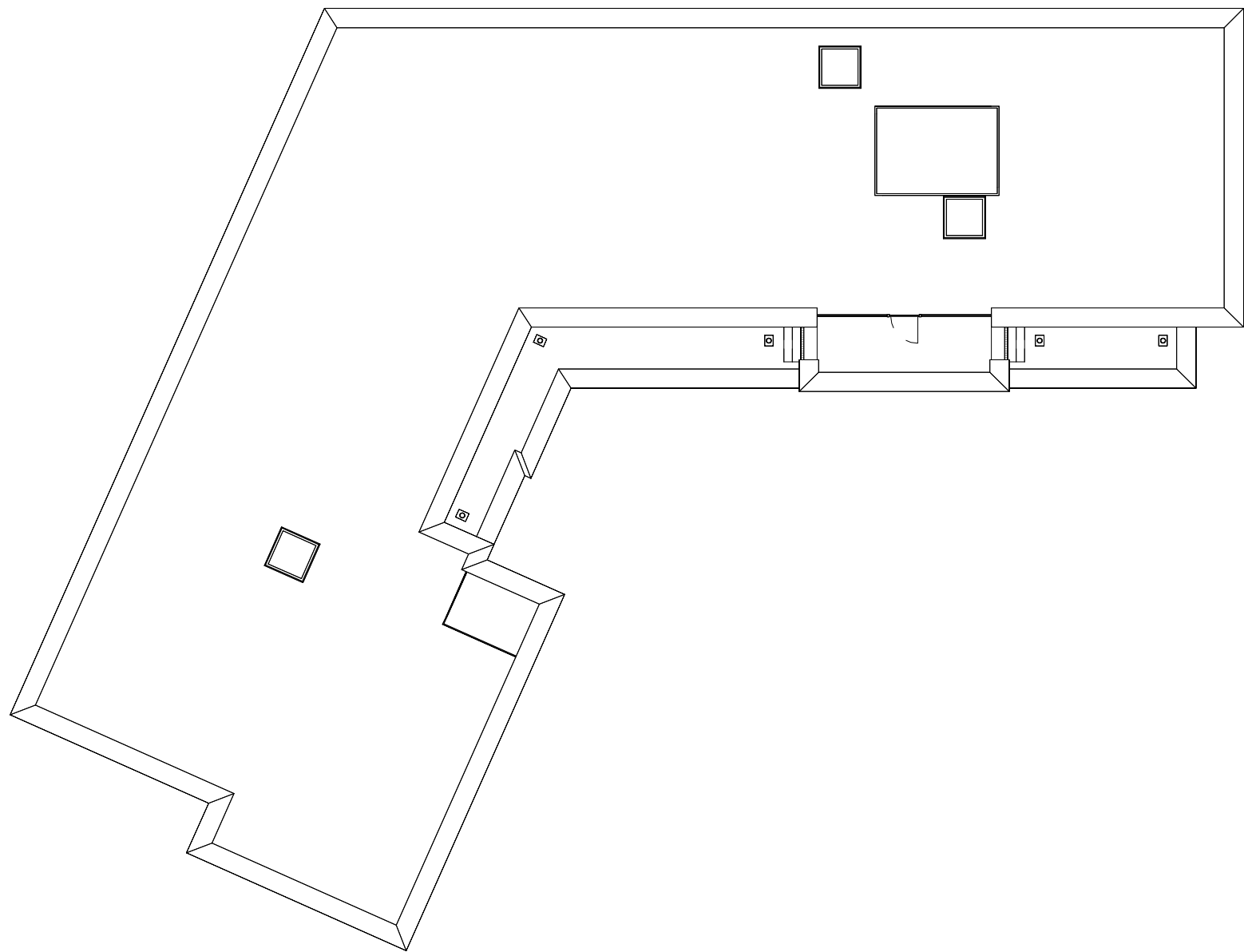
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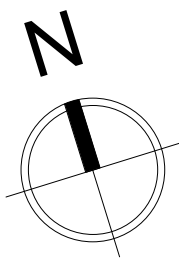




1 - Level 05
1 : 200



2 - Level 06
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A1

Key Legend

- 1 Bedroom flat
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- Circulation
- Commercial space
- Commercial bin store
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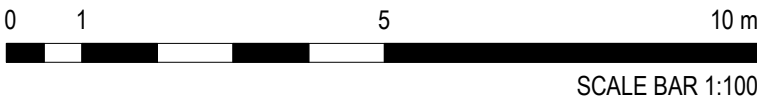
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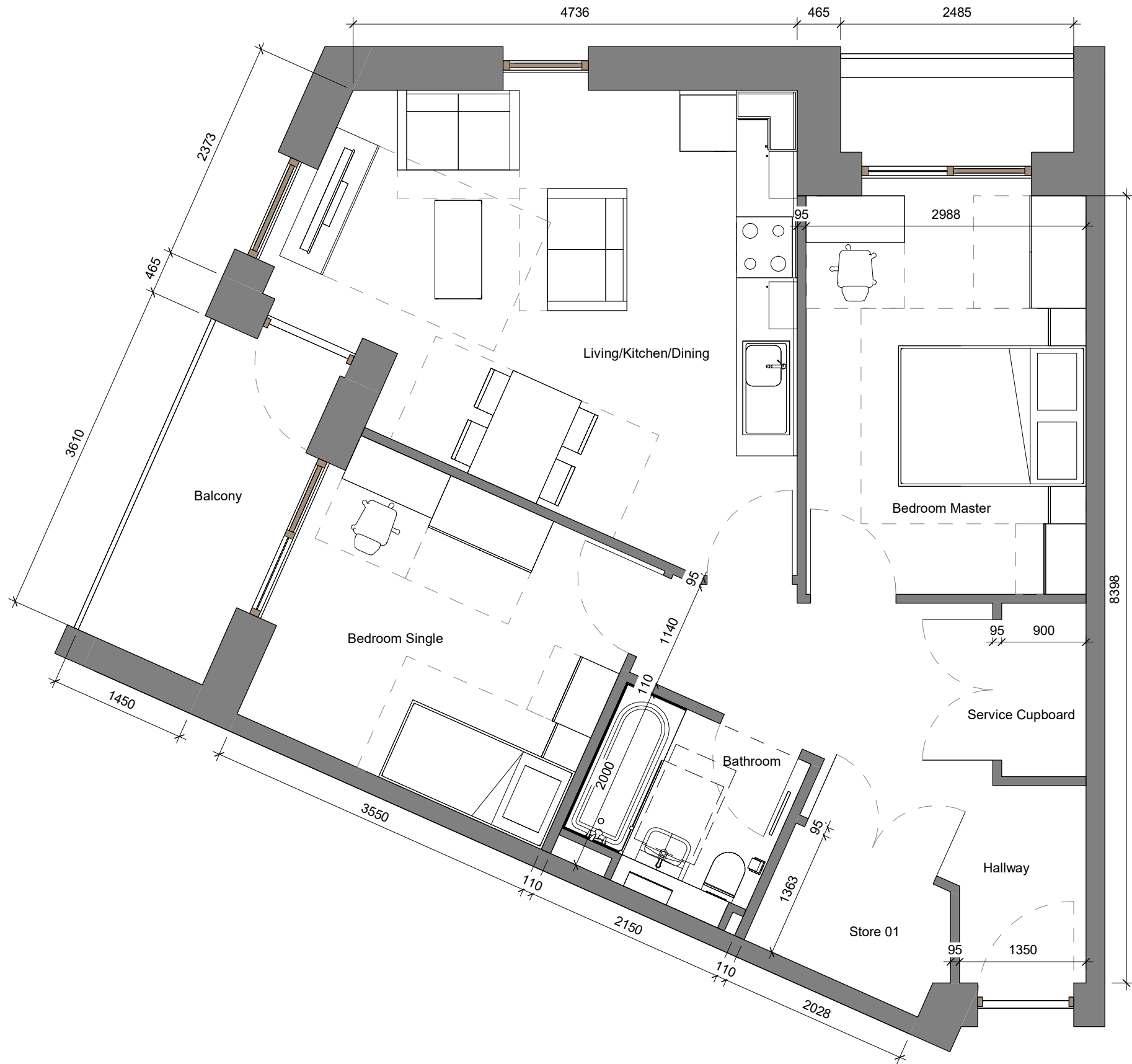
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A1



1 - A4_Type 1_2B3P_M4(2)
1 : 50

2 - A4_Type 2_2B3P_M4(1)
1 : 50

Area Schedule (NIA) - Unit Types A4							
Unit Block	Level	Area	Unit Size	Unit Type	Accessibility	Tenure	Count
Block A4	Level A4_00	74.76 m²	2B/3P	A4_Type 1	M4(2)	Affordable	1
Block A4	Level A4_00	64.38 m²	2B/3P	AZ_Type 1	M4(2)	Affordable	1
Block A4	Level A4_00	46.56 m²	1B/2P	AZ_Type 2	M4(1)	Affordable	2
Block A4	Level A4_00	71.18 m²	2B/3P	AZ_Type 3	M4(2)	Affordable	5
Block A4	Level A4_01	68.13 m²	2B/3P	A4_Type 2	M4(2)	Affordable	1
Block A4	Level A4_01	46.56 m²	1B/2P	AZ_Type 2	M4(1)	Affordable	4
Block A4	Level A4_01	64.55 m²	2B/3P	AZ_Type 4	M4(1)	Affordable	5
Block A4	Level A4_01	67.91 m²	2B/3P	AZ_Type 5	M4(1)	Affordable	1
Block A4	Level A4_01	57.75 m²	2B/3P	AZ_Type 6	M4(1)	Affordable	1
Block A4	Level A4_02	68.13 m²	2B/3P	A4_Type 2	M4(2)	Affordable	1
Block A4	Level A4_02	46.56 m²	1B/2P	AZ_Type 2	M4(1)	Affordable	4
Block A4	Level A4_02	64.55 m²	2B/3P	AZ_Type 4	M4(1)	Affordable	5
Block A4	Level A4_02	67.91 m²	2B/3P	AZ_Type 5	M4(1)	Affordable	1
Block A4	Level A4_02	57.75 m²	2B/3P	AZ_Type 6	M4(1)	Affordable	1
Block A4	Level A4_03	68.13 m²	2B/3P	A4_Type 2	M4(2)	Affordable	1
Block A4	Level A4_03	46.56 m²	1B/2P	AZ_Type 2	M4(1)	Affordable	4
Block A4	Level A4_03	64.55 m²	2B/3P	AZ_Type 4	M4(1)	Affordable	5
Block A4	Level A4_03	67.91 m²	2B/3P	AZ_Type 5	M4(1)	Affordable	1
Block A4	Level A4_03	57.75 m²	2B/3P	AZ_Type 6	M4(1)	Affordable	1
Block A4	Level A4_04	68.13 m²	2B/3P	A4_Type 2	M4(2)	Affordable	1
Block A4	Level A4_04	46.56 m²	1B/2P	AZ_Type 2	M4(1)	Affordable	2
Block A4	Level A4_04	64.55 m²	2B/3P	AZ_Type 4	M4(1)	Affordable	3
Block A4	Level A4_05	68.13 m²	2B/3P	A4_Type 2	M4(2)	Affordable	1
Block A4	Level A4_05	46.56 m²	1B/2P	AZ_Type 2	M4(1)	Affordable	2
Block A4	Level A4_05	64.55 m²	2B/3P	AZ_Type 4	M4(1)	Affordable	3
Grand total: 57							

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DRAWING TITLE

Block A4 - Unit Types

SUITABILITY CODE

S4 - Suitable for Stage Approval

SCALE

1 : 50

DRAWN

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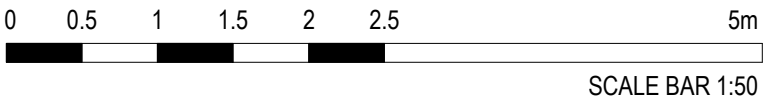
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20/02/2025

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32398 - BGL - A4 - ZZ - DR - A - 16000 - P09





Area Schedule (NIA)_Area 1						
Unit Block	Unit Type	Area	Accessibility	Unit Size	Usage	Count
Block A1	A1_Type 1	57.83 m²	M4(1)	2B/3P	Residential	7
Block A1	A1_Type 2	77.66 m²	M4(2)	2B/3P	Residential	1
Block A1	A1_Type 3	71.32 m²	M4(1)	2B/3P	Residential	4
Block A1	A1_Type 4	51.01 m²	M4(1)	1B/2P	Residential	1
Block A1	AZ_Type 1	64.38 m²	M4(2)	2B/3P	Residential	2
Block A1	AZ_Type 2	46.56 m²	M4(1)	1B/2P	Residential	18
Block A1	AZ_Type 3	71.18 m²	M4(2)	2B/3P	Residential	7
Block A1	AZ_Type 4	64.55 m²	M4(1)	2B/3P	Residential	21
Block A1	AZ_Type 5	67.91 m²	M4(1)	2B/3P	Residential	4
Block A1	AZ_Type 6	57.75 m²	M4(1)	2B/3P	Residential	7
Block A1: 72						
Block A2	A2_Type 1	45.04 m²	M4(1)	1B/2P	Residential	2
Block A2	A2_Type 2	51.84 m²	M4(1)	1B/2P	Residential	1
Block A2	A2_Type 3	49.88 m²	M4(1)	1B/2P	Residential	1
Block A2	AZ_Type 2	46.56 m²	M4(1)	1B/2P	Residential	16
Block A2	AZ_Type 4	64.55 m²	M4(1)	2B/3P	Residential	31
Block A2	AZ_Type 5	67.91 m²	M4(1)	2B/3P	Residential	11
Block A2	AZ_Type 6	57.75 m²	M4(1)	2B/3P	Residential	14
Block A2: 76						
Block A3	AZ_Type 4	64.55 m²	M4(1)	2B/3P	Residential	28
Block A3	AZ_Type 5	67.91 m²	M4(1)	2B/3P	Residential	12
Block A3	AZ_Type 6	57.75 m²	M4(1)	2B/3P	Residential	12
Block A3: 52						
Block A4	A4_Type 1	74.76 m²	M4(2)	2B/3P	Residential	1
Block A4	A4_Type 2	68.13 m²	M4(2)	2B/3P	Residential	5
Block A4	AZ_Type 1	64.38 m²	M4(2)	2B/3P	Residential	1
Block A4	AZ_Type 2	46.56 m²	M4(1)	1B/2P	Residential	18
Block A4	AZ_Type 3	71.18 m²	M4(2)	2B/3P	Residential	5
Block A4	AZ_Type 4	64.55 m²	M4(1)	2B/3P	Residential	21
Block A4	AZ_Type 5	67.91 m²	M4(1)	2B/3P	Residential	3
Block A4	AZ_Type 6	57.75 m²	M4(1)	2B/3P	Residential	3
Block A4: 57						
Grand total: 257						

- KEY
- Communal Entrance
- Main Commercial Entrance
- Bin/Cycle/Plant room Entrance
- Fire exit
- Trees to be removed
- Tree Category A
- Tree Category B
- Tree Category C
- Demolished buildings

PI2	Issued for Planning Submission	15/08/2025
PI1	Issued for Planning Submission	07/07/2025
PI0	Issued for Planning Submission	30/06/2025
PI0	Issued for Design Team for comments	13/05/2025
PI0	Issued for Planning Submission	20/02/2025
PI0	Issued for Design Team for comments	24/01/2025
PI0	Issued for Design Team for comments	17/01/2025
PI0	Issued for Design Team for comments	14/10/2024
PI0	Issued for Design Team for comments	03/08/2024
PI0	Issued for Design Team for comments	04/07/2024
PI0	Issued for client for comments	21/05/2024
PI0	Work In Progress to Client	01/12/2023
Rev	Description	Date

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PROJECT NAME
Spon End

DRAWING TITLE
Area 1 - Site Plan

S4 - Suitable for Stage Approval									
SCALE	DRAWN	CHECKED	APPROVED	DATE					
1:200	FG	PS	DB	20/02/2025					
PROJ NO	AUTHOR	VOLUME	LEVEL	DOCTYP	ROLE	DRW NO	REV NO		
32398	BGL	AZ	00	DR	A	11000	PI2		



Area 1_Refuse		
Block Name	Family and Type	Count
A1	BGL_Site_Bin-1100L: Bin-Refuse_Residential 1100L	8
A2	BGL_Site_Bin-1100L: Bin-Refuse_Commercial 1100L	5
A2	BGL_Site_Bin-1100L: Bin-Refuse_Residential 1100L	12
A3	BGL_Site_Bin-1100L: Bin-Refuse_Commercial 1100L	5
A3	BGL_Site_Bin-1100L: Bin-Refuse_Residential 1100L	5
A4	BGL_Site_Bin-1100L: Bin-Refuse_Residential 1100L	8

Bin Store_Residential
Eurobin 1100L

Bin Store_Residential
Eurobin 1100L

Waste collection vehicle

P07	Issued for Planning Submission	15/08/2025
P06	Issued for Planning Submission	07/07/2025
P05	Issued for Planning Submission	30/06/2025
P04	Issued for Planning Submission	20/02/2025
P03	Issued to Design Team for comments	24/01/2025
P02	Issued to Design Team for comments	22/01/2025
P01	Issued to Design Team for comments	17/01/2025
Rev	Description	Date



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PROJECT NAME			
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DRAWING TITLE

Area 1 - Refuse Strategy

S4 - Suitable for Stage Approval

SCALE	DRAWN		CHECKED	APPROVED		DATE
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PROJ NO	AUTHOR	VOLUME	LEVEL	DOCTYP	ROLE	DRW NO
32398	BGL	AZ	00	DR	A	11200
						P07



Area 1_Cycle Provision		
Block Name	Type	Count
A1	2No Cycle spaces_Sheffield Stand	7
A1	2No Cycle spaces_Sheffield Stand	3
A1	8No Cycle Parking_Two Tier	2
A1	10No Cycle Parking_Two Tier	4
A2	2No Cycle spaces_Sheffield Stand	4
A2	2No Cycle spaces_Sheffield Stand_Commercial	3
A2	8No Cycle Parking_Two Tier	1
A2	12No Cycle Parking_Two Tier	1
A2	16No Cycle Parking_Two Tier	3
A3	2No Cycle spaces_Sheffield Stand	2
A3	2No Cycle spaces_Sheffield Stand_Commercial	3
A3	16No Cycle Parking_Two Tier	3
A4	2No Cycle spaces_Sheffield Stand	7
A4	2No Cycle spaces_Sheffield Stand	4
A4	8No Cycle Parking_Two Tier	2
A4	10No Cycle Parking_Two Tier	4

CYCLE SPACES PER BLOCK

Residential Provision: 275 internal covered units

- A1 73No cycle spaces
- A2 76No cycle spaces
- A3 52No cycle spaces
- A4 74No cycle spaces

Commercial Provision

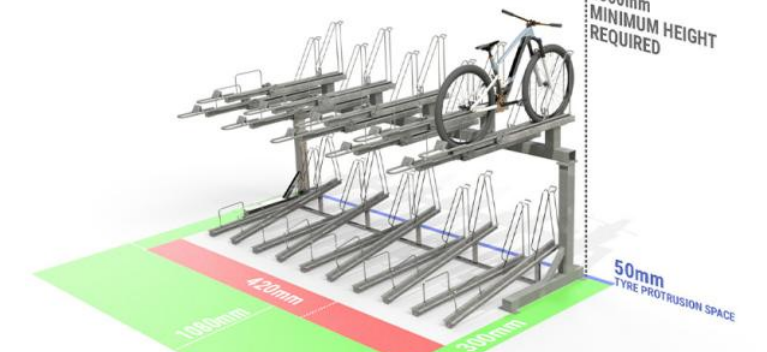
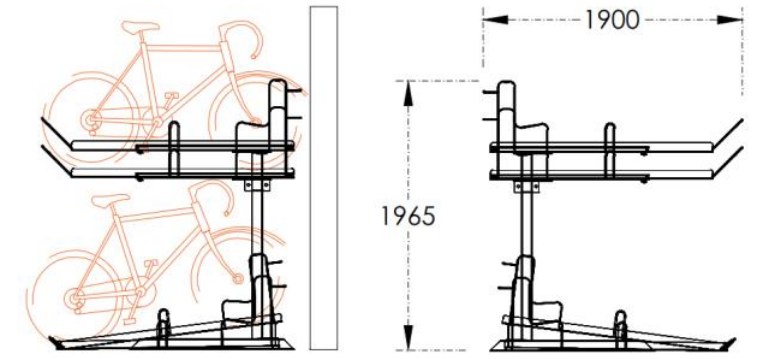
- A2 6No long-stay cycle spaces
- A3 6No long-stay cycle spaces

Total overall 287No

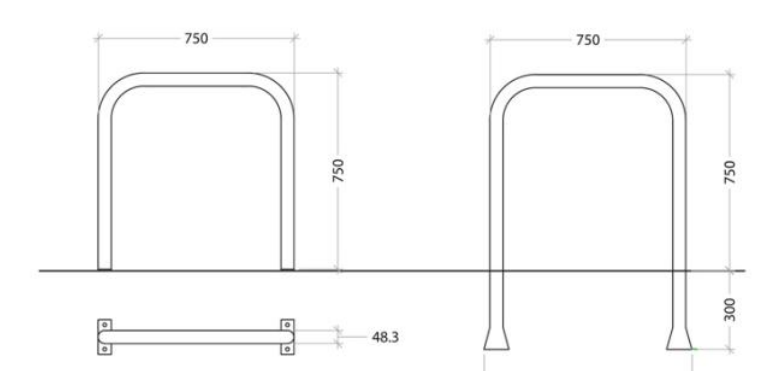
KEY_CYCLE STRATEGY

- Cycle Store
- Location for visitor Sheffield Stands

TWO TIER SYSTEM



SHEFFIELD STAND



P06	Issued for Planning Submission	15/08/2025
P05	Issued for Planning Submission	07/07/2025
P04	Issued for Planning Submission	30/06/2025
P03	Issued for Planning Submission	29/02/2025
P02	Issued to Design Team for comments	24/07/2025
P01	Issued to Design Team for comments	17/01/2025
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PROJECT NAME
Spon End

DRAWING TITLE
Area 1 - Cycle Strategy

S4 - Suitable for Stage Approval									
SCALE	DRAWN	CHECKED	APPROVED	DATE					
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PROJ NO	AUTHOR	VOLUME	LEVEL	DRAWING	ROLE	DRW NO	REV NO		
32398	BGL	AZ	00	DR	A	11250	P06		



Area 1_Parking Schedule		
Parking Bay Zone	Mark	Count

Block A1	Residential_Blue Badge	2
Block A1	Residential	20
Block A1: 22		

Block A2	Commercial_Blue Badge	1
Block A2	Residential_Blue Badge	1
Block A2	Commercial	7
Block A2	Residential	23
Block A2	Commercial	3
Block A2: 35		

Block A3	Commercial_Blue Badge	2
Block A3	Residential_Blue Badge	2
Block A3	Commercial	7
Block A3	Residential	10
Block A3	Residential	3
Block A3: 24		

Block A4	Residential_Blue Badge	2
Block A4	Residential	15
Block A4: 17		
Grand total: 98		

KEY_PARKING STRATEGY

- A1_Residential
- A2_Residential
- A2_Commercial
- A3_Residential
- A3_Commercial
- A4_Residential

NOTE

Electrical Vehicle charging points to comply with building regulations and locations to be coordinated with MEP and landscape design team.

The scheme will provide EV charging points to 100% of residential units plus 1 charging point for each of the blocks that include commercial space, along with cabling for 20% of the other commercial spaces.

For full details of the proposed landscape masterplan please refer to drawing 15477A-30-C01-20-F Landscape Masterplan by Logika Consultants

PO7	Issued for Planning Submission	15/08/2025
PO6	Issued for Planning Submission	07/07/2025
PO5	Issued for Planning Submission	30/06/2025
PO4	Issued for Planning Submission	26/02/2025
PO3	Issued to Design Team for comments	24/01/2025
PO2	Issued to Design Team for comments	22/01/2025
PO1	Issued to Design Team for comments	17/01/2025
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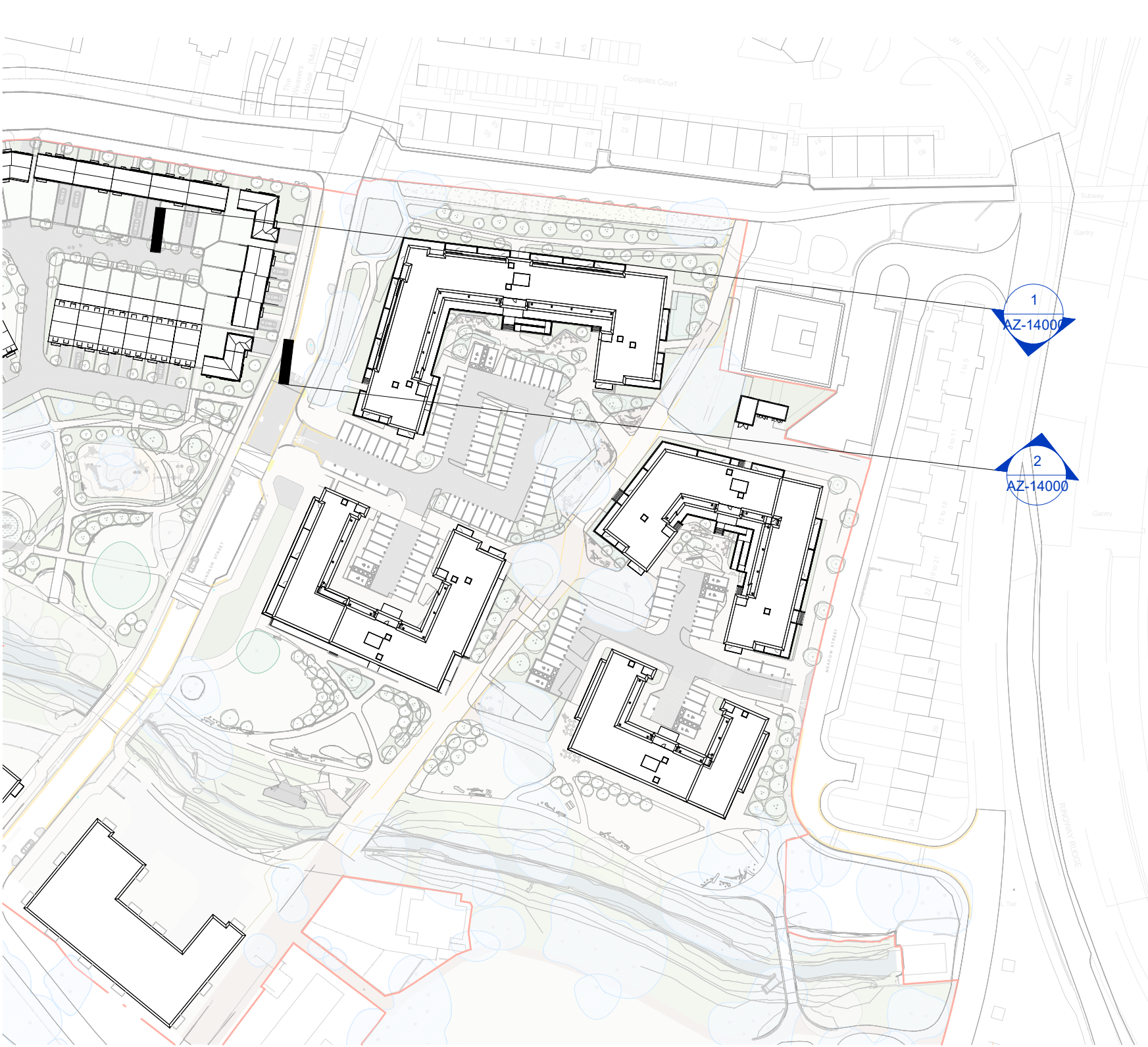
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PROJECT NAME
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DRAWING TITLE
Area 1 - Parking Strategy

S4 - Suitable for Stage Approval									
SCALE	DRAWN	CHECKED	APPROVED	DATE					
1:200	FG	PS	DB	20/02/2025					
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32398	BGL	AZ	00	DR	A	11300	PO7		



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A0



1 - North Elevation



2 - South Elevation

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P05	Issued for Planning Submission	07/07/2025
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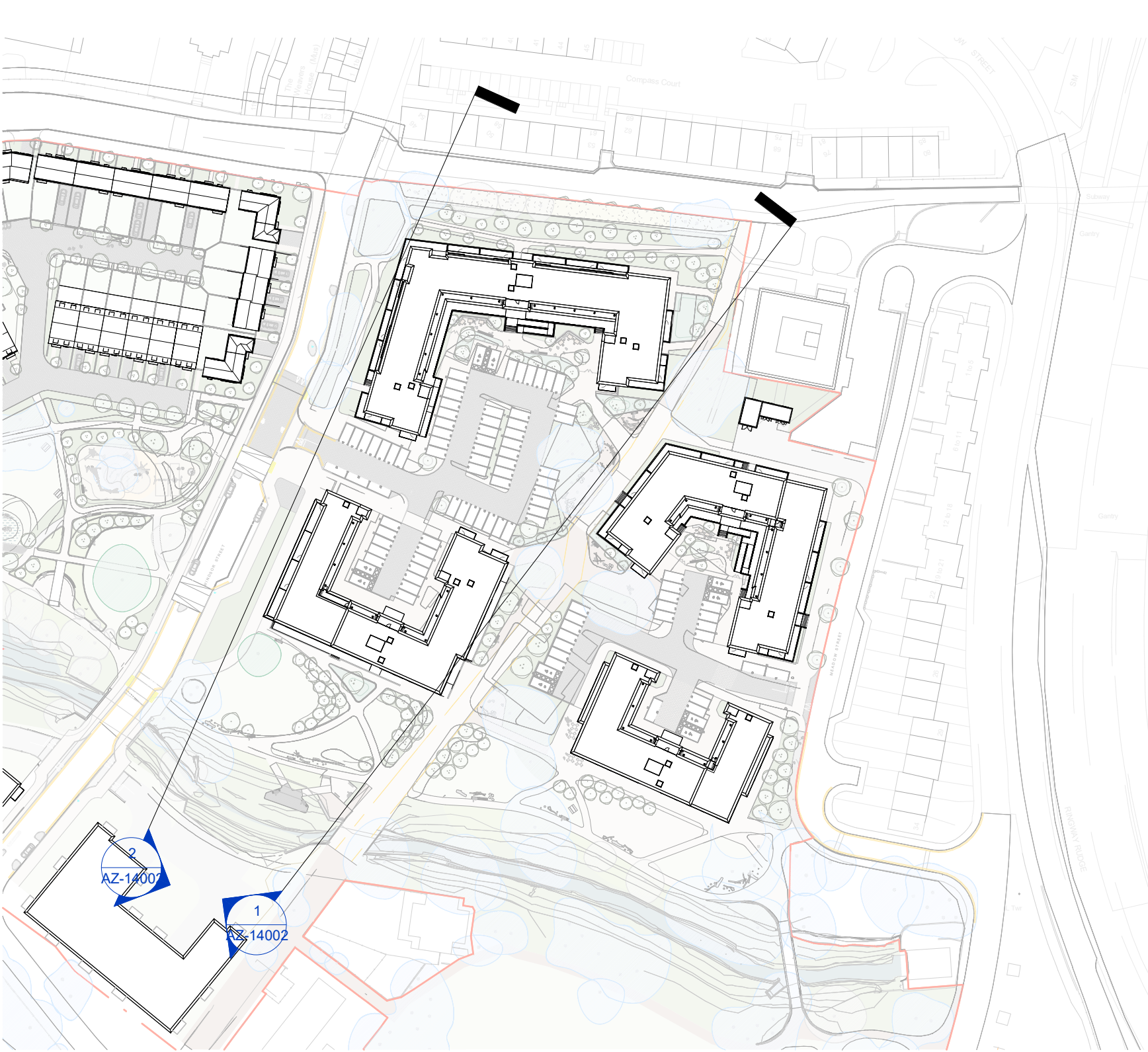
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CV1 3DJ
PROJECT NAME
Spon End

DRAWING TITLE
Block AZ - Upper Spon Street - North & South Elevations

SUITABILITY CODE
S4 - Suitable for Stage Approval

SCALE	DRAWN	CHECKED	APPROVED	DATE
1:200	FG	PS	DB	20/02/2025
PROJ NO	AUTHOR	VOLUME	LEVEL	DICTYP
32398	BGL	AZ	ZZ	DR
DRW NO	DRW NO	REV NO	REV NO	REV NO
14000	14000	14000	14000	14000

0 2 4 6 8 10 20m
SCALE BAR 1:200



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A0



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P03	Issued for Planning Submission	29/05/2025
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P01	Issued to Design Team for comments	13/12/2024
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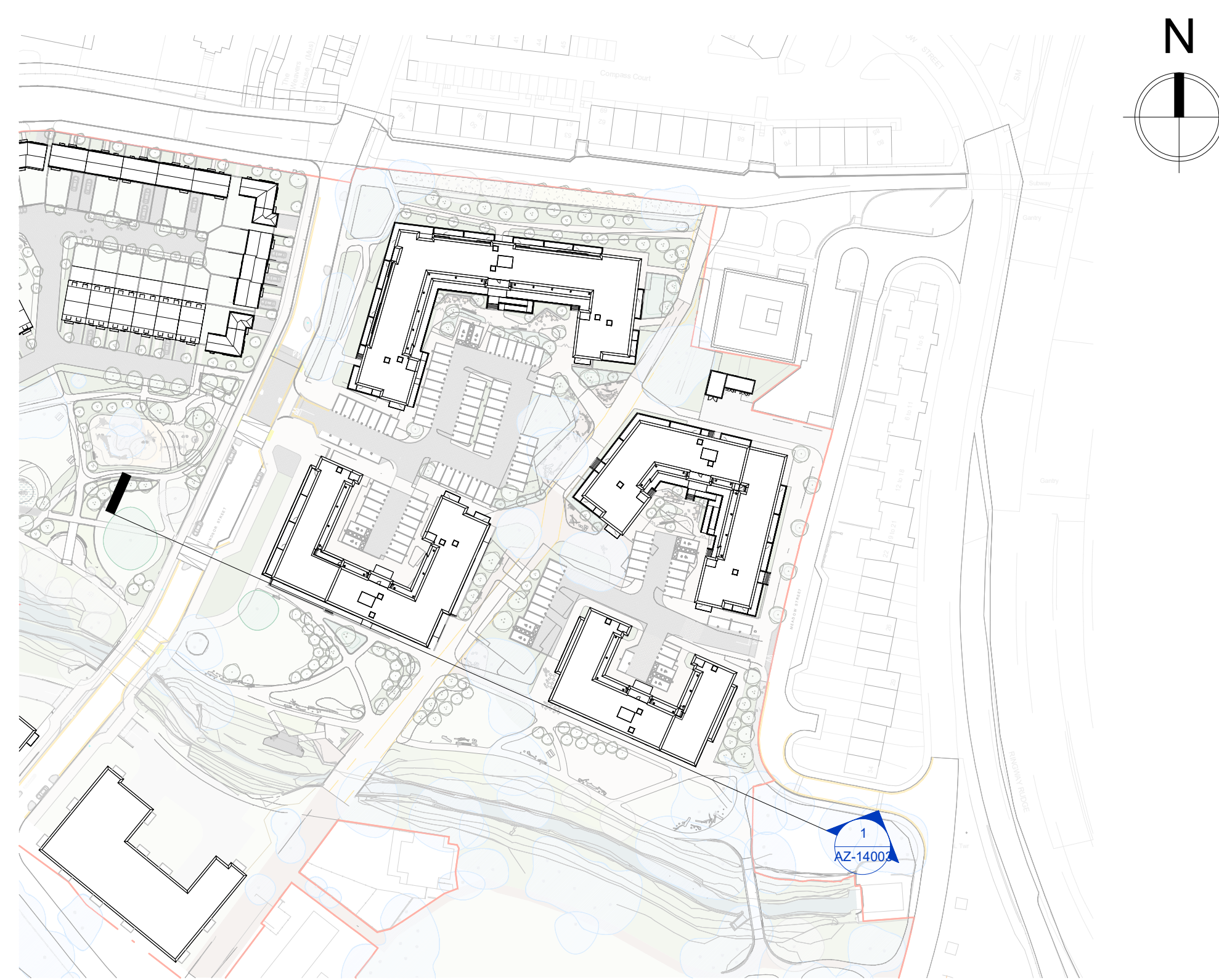
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PROJECT NAME
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DRAWING TITLE
Block AZ - East and West Elevations

SUITABILITY CODE
S4 - Suitable for Stage Approval

SCALE	DRAWN	CHECKED	APPROVED	DATE
1:200	FG	PS	DB	20/02/2025
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32398	BGL	AZ	ZZ	DR - A - 14002
P06				



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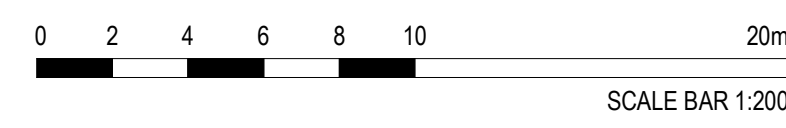
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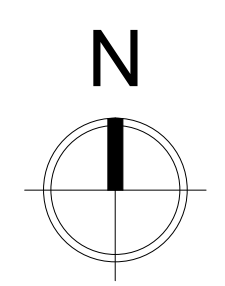
PROJECT NAME
Spon End

DRAWING TITLE
Block AZ - North Elevations

S4 - Suitable for Stage Approval

SCALE	DRAWN		CHECKED	APPROVED		DATE
1:200	FG		PS	DB		20/02/2025
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A0



Block A3

Block A2



0 2 4 6 8 10 20m
SCALE BAR 1:200

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PO5	Issued for Planning Submission	07/07/2025
PO4	Issued for Planning Submission	30/06/2025
PO3	Issued for Planning Submission	20/02/2025
PO2	Issued to Design Team for comments	24/01/2025
PO1	Issued to Design Team for comments	13/12/2024
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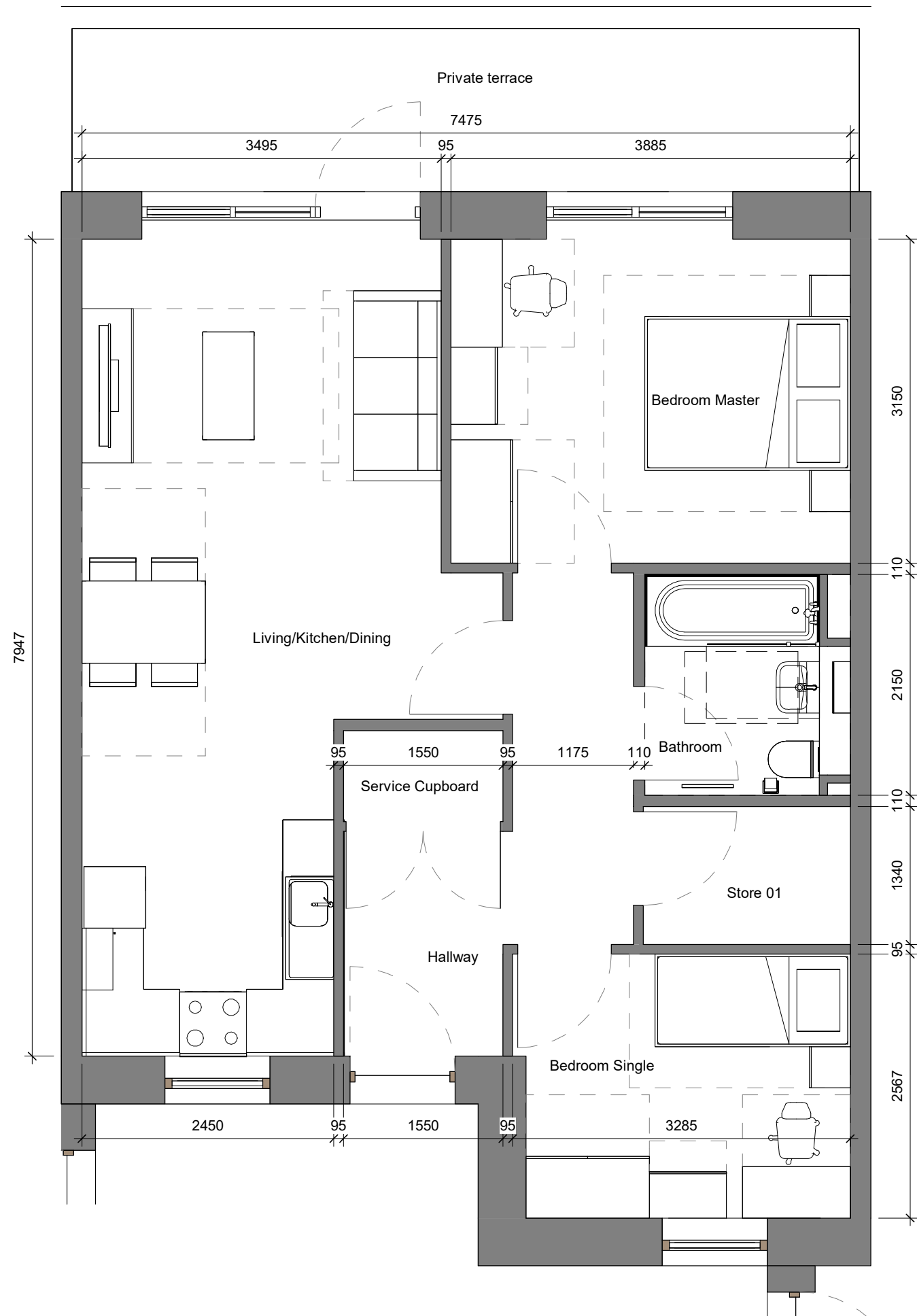
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DRAWING TITLE

Block AZ - North & South Elevations

S4 - Suitable for Stage Approval

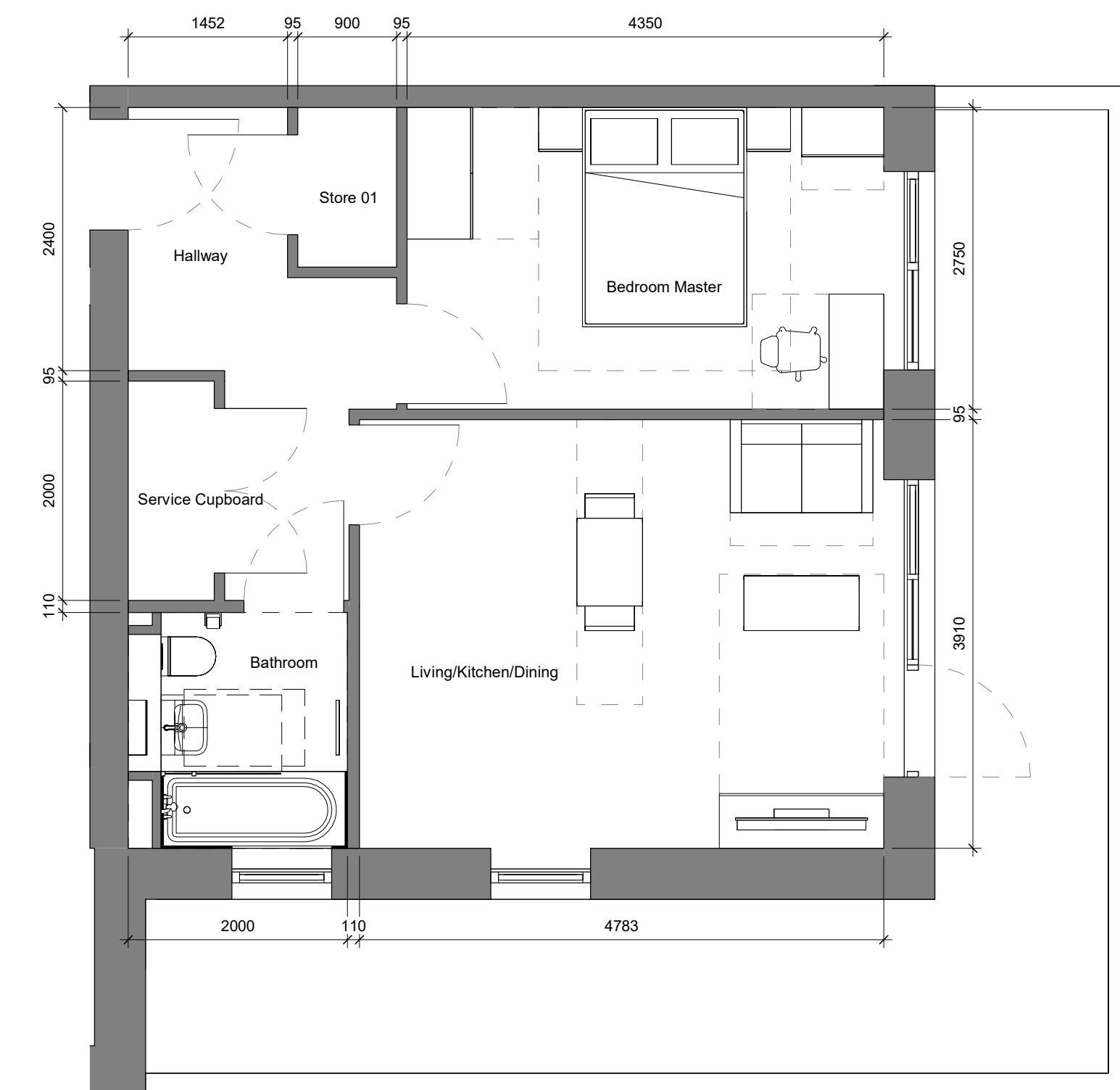
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1:200	FG	PS	DB	20/02/2025			
PROJ NO	AUTHOR	VOLUME	LEVEL	DOCTYP	ROLE	DRW NO	REV NO
32398	- BGL	- AZ	- ZZ	- DR	- A	14004	P06



1 - AZ_Type 1_2B3P_M4(2)

1 : 50

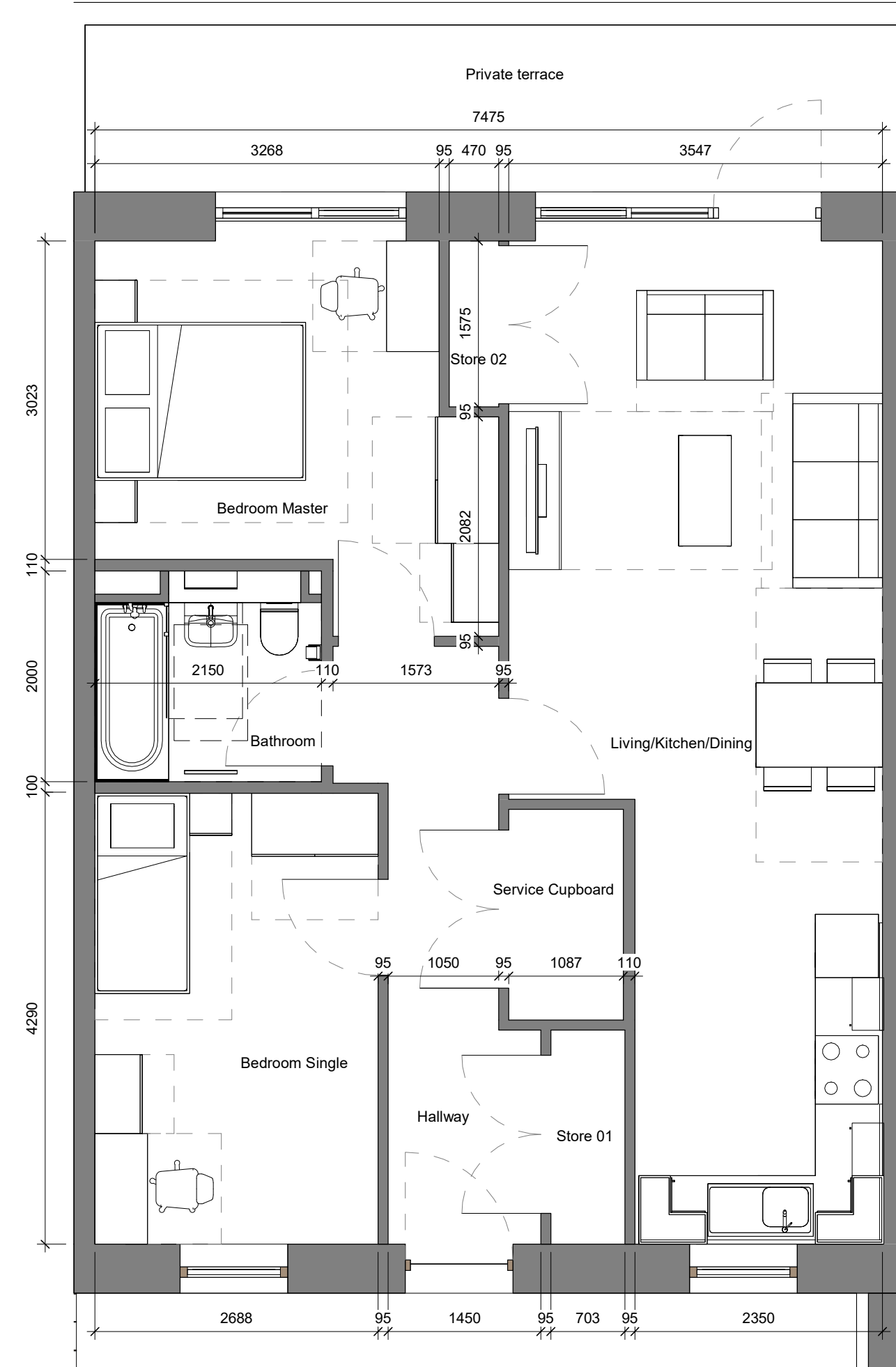
Typical unit present in Blocks A1, A4



2 - AZ_Type 2_1B2P M4(1)

1 : 50

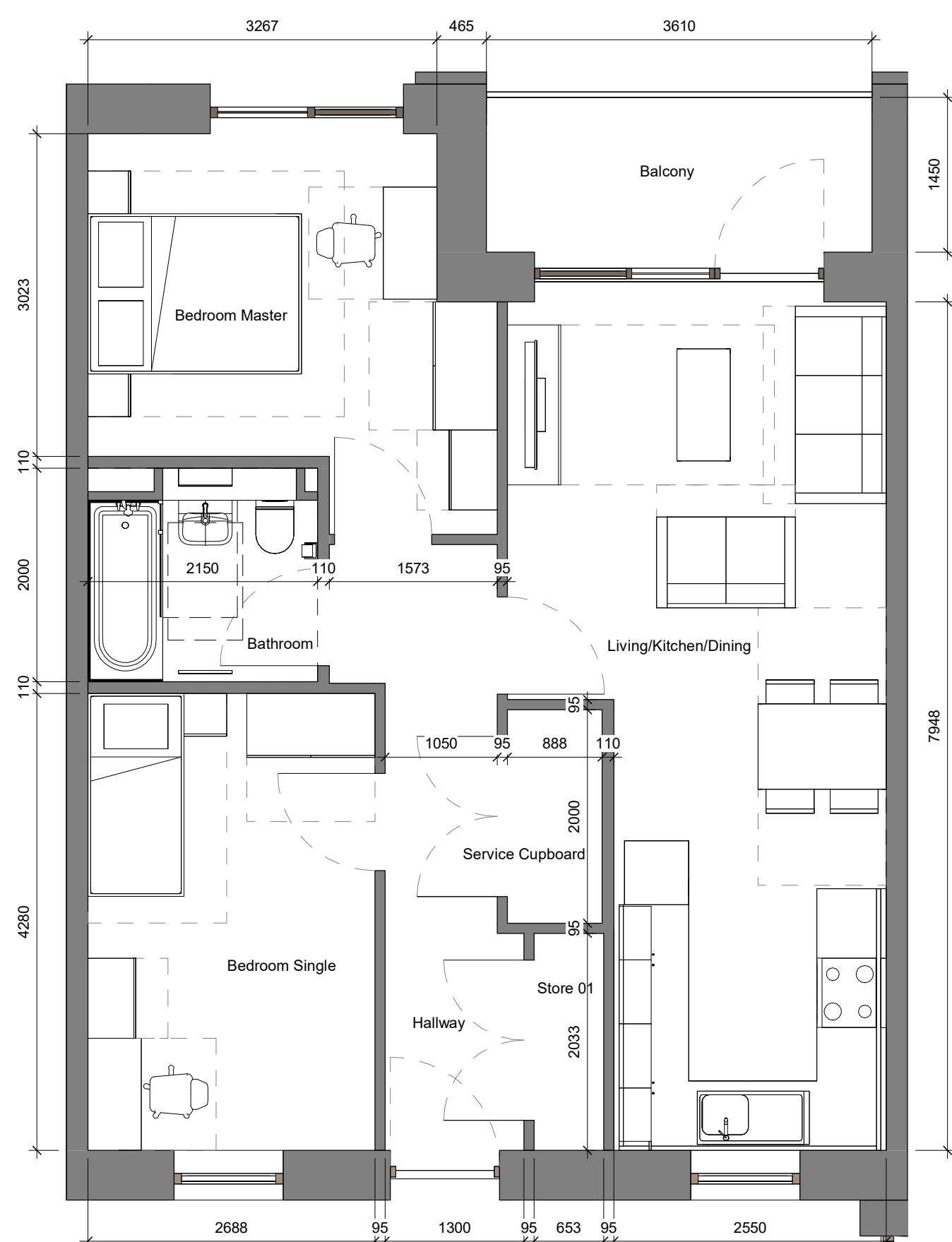
Typical unit present in Blocks A1, A2, A4



3 - AZ_Type 3_2B4P_M4(2)

1 : 50

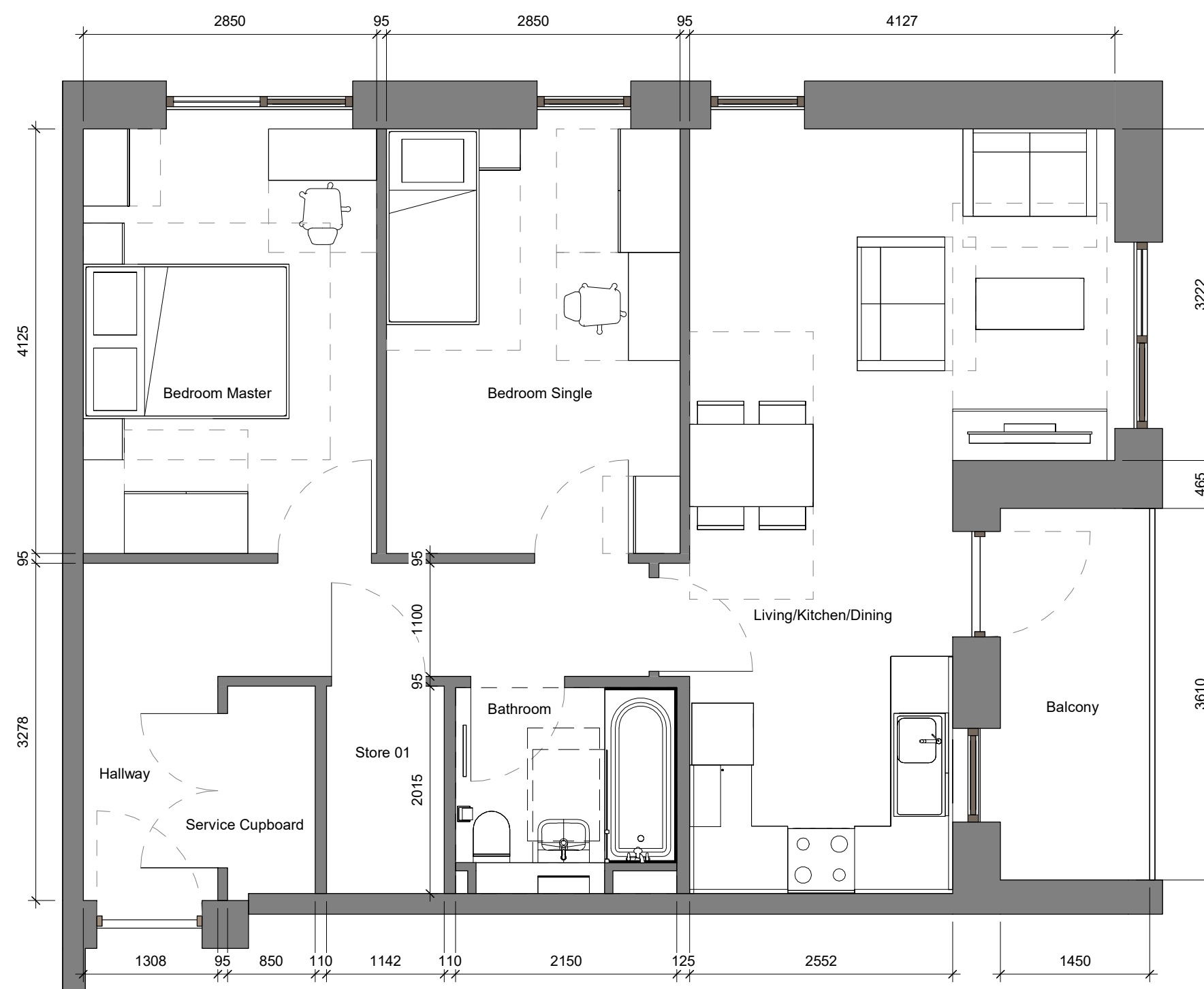
Typical unit present in Blocks A1, A4



4 - AZ_Type 4_2B4P_M4(1)

1 : 50

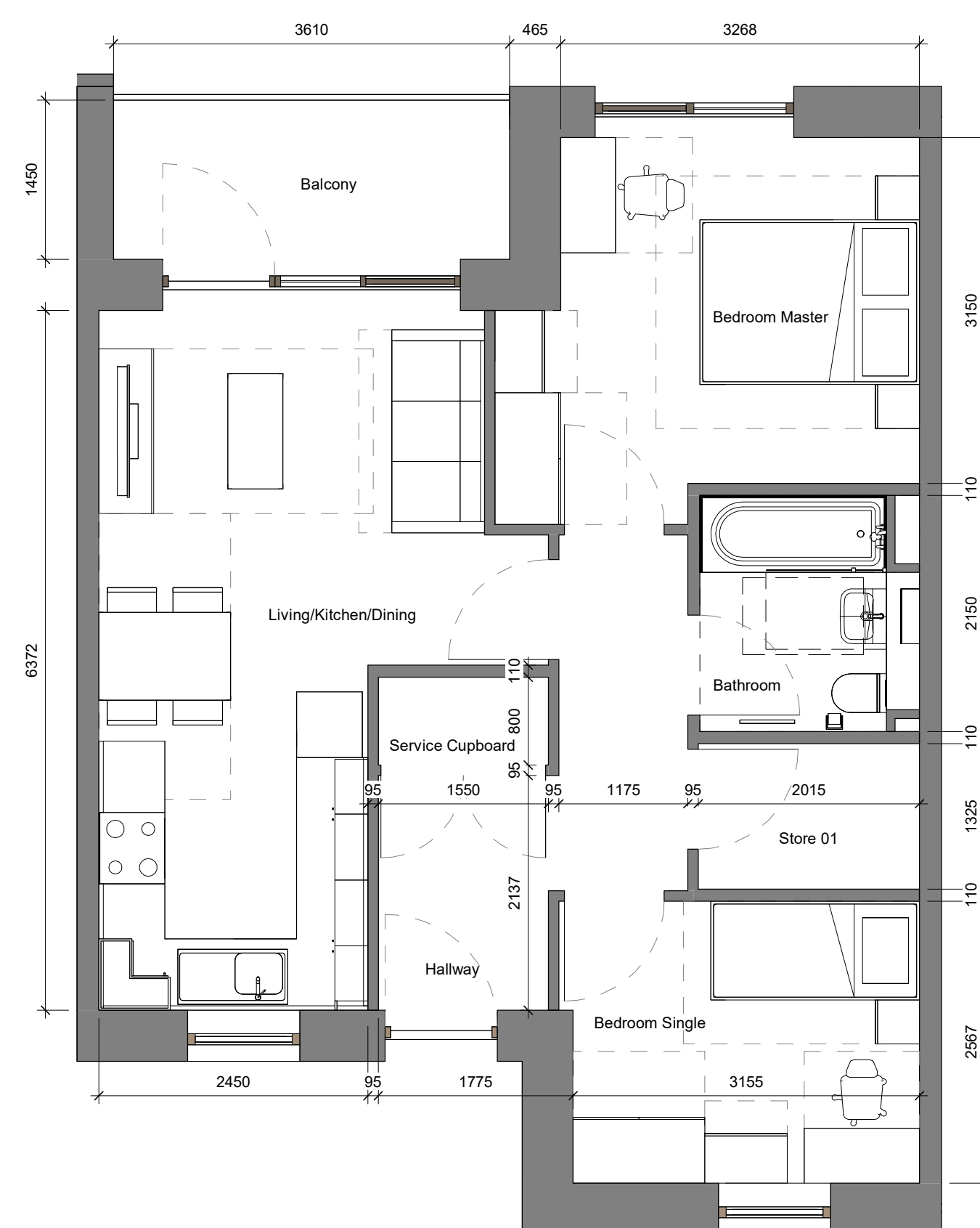
Typical unit present in Blocks A1, A2, A3, A4



5 - AZ_Type 5_2B4P_M4(1)

1 : 50

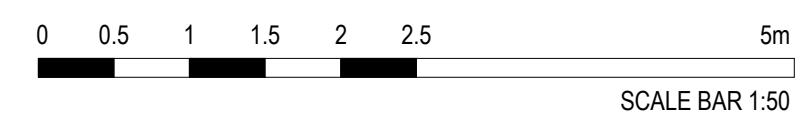
Typical unit present in Blocks A1, A2, A3, A4



6 - AZ_Type 6_2B3P_M4(1)

1 : 50

Typical unit present in Blocks A1, A2, A3, A4



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A1

P12	Issued for Planning Submission	15/08/2025
P11	Issued for Planning Submission	30/06/2025
P10	Issued for Planning Submission	17/03/2024
P09	Issued for Planning Submission	20/02/2025
P08	Issued to Design Team for comments	24/01/2025
P07	Issued to Design Team for comments	08/01/2025
P06	Issued to Design Team for comment	01/10/2024
P05	Issued to client for comment	20/09/2024
P04	Issued to Design Team for comments	02/08/2024
P03	Issued to Design Team for comments	02/07/2024
P02	Issued to client for comments	27/06/2024
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PROJECT NAME
Spon End

DRAWING TITLE

Block AZ - Unit Types

S4 - Suitable for Stage Approval

SCALE	DRAWN	CHECKED	APPROVED	DATE
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PROJ NO	AUTHOR	VOLUME	LEVEL	DOCTYP	ROLE	DRW NO	REV NO
32398	- BGL	- AZ	- ZZ	- DR	- A	- 16000	P12



1 - A1_GA Elevation
1 : 200



2 - A1_GA Elevation
1 : 200



3 - A1_GA Elevation
1 : 200



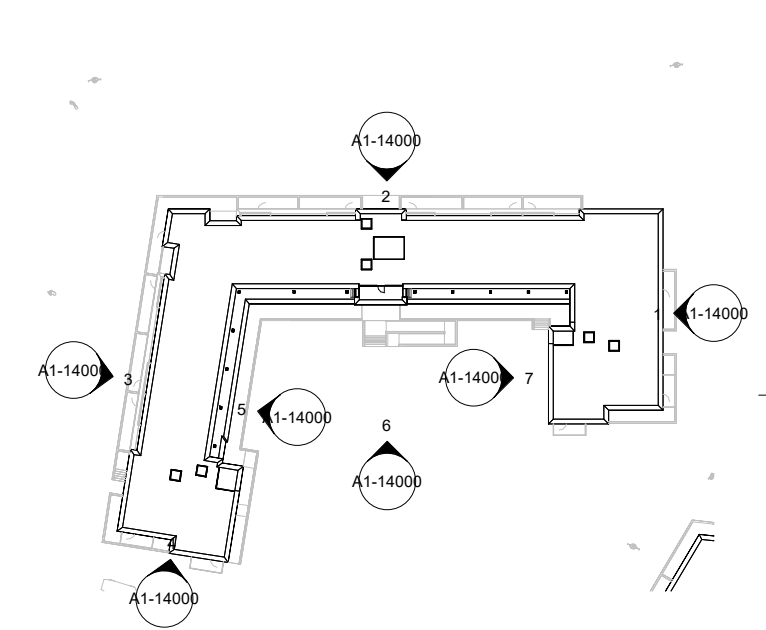
6 - A1_GA Elevation
1 : 200



5 - A1_GA Elevation
1 : 200



7 - A1_GA Elevation
1 : 200



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KEY_ELEVATIONS

- 1 Red Brick Multi_grey mortar
- 2 Red Brick Multi_grey mortar
Soldier course stack bond
- 3 Grey/Buff Brick Multi_dark grey mortar
- 4 Grey/Buff Brick Multi_dark grey mortar
Soldier course stack bond
- 5 Brown Brick Multi_dark grey mortar
- 6 Brown Brick Multi_dark grey mortar
Soldier course stack bond
- 7 White Brick_white mortar
- 8 White Brick_white mortar
Soldier course stack bond
- 9 Green Glazed Brick_white mortar
- 10 Aluminium Cladding PPC RAL 1019

Windows, doors and metalwork

- 11 RAL 1019, Bronze
(used with grey/buff and white brick)
- 12 RAL 7002 Olive Grey
(metalwork on internal walkways only)
- 13 RAL 7006 Beige Grey
(used with brown brick)
- 14 RAL 7016 Antracite Grey
(used with red brick)

Note:
All external balconies will provide an 1100mm balustrade. Due to acoustic requirements, the design and soffit treatment is pending to be confirmed.
* All windows to habitable rooms of residential units adjacent to the walkways to have partially obscured glazing treatment.

P08	Issued for Planning Submission	26/09/2025
P07	Issued for Planning Submission	15/08/2025
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P05	Issued for Planning Submission	30/06/2025
P04	Issued for Planning Submission	20/02/2025
P03	Issued to Design Team for comments	24/01/2025
P02	Issued to Design Team for comments	13/12/2024
P01	Issued to Hill Group	08/11/2024
Rev	Description	Date

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		t: 0000 000 0000	
		e:	

PROJECT ADDRESS
Windsor Street
Coventry
West Midlands
CV1 3DJ

PROJECT NAME
Spon End

DRAWING TITLE
Block A1 - Elevations

SUITABILITY CODE			
S4 - Suitable for Stage Approval			
SCALE	DRAWN	CHECKED	APPROVED
1 : 200	FG	PS	DB
DATE	20/02/2025		
PROJ NO	AUTHOR	VOLUME	LEVEL
32398	BGL	A1	ZZ
DOCTYP	ROLE	DRW NO	REV NO
DR	A	14000	P08



1 - A2_GA Elevation
1 : 200



3 - A2_GA Elevation
1 : 200



5 - A2_GA Elevation
1 : 200



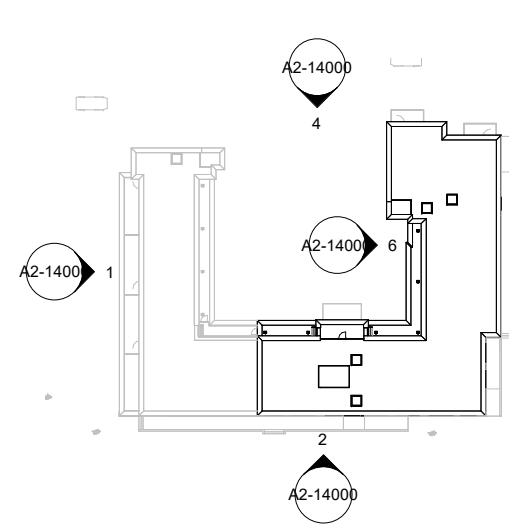
2 - A2_GA Elevation
1 : 200



4 - A2_GA Elevation
1 : 200



6 - A2_GA Elevation
1 : 200



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KEY_ELEVATIONS

- 1 Red Brick Multi_grey mortar
- 2 Red Brick Multi_grey mortar
Soldier course stack bond
- 3 Grey/Buff Brick Multi_dark grey mortar
- 4 Grey/Buff Brick Multi_dark grey mortar
Soldier course stack bond
- 5 Brown Brick Multi_dark grey mortar
- 6 Brown Brick Multi_dark grey mortar
Soldier course stack bond
- 7 White Brick_white mortar
- 8 White Brick_white mortar
Soldier course stack bond
- 9 Green Glazed Brick_white mortar
- 10 Aluminium Cladding PPC RAL 1019

Windows, doors and metalwork

- 11 RAL 1019, Bronze
(used with grey/buff and white brick)
- 12 RAL 7002 Olive Grey
(metalwork on internal walkways only)
- 13 RAL 7006 Beige Grey
(used with brown brick)
- 14 RAL 7016 Antracite Grey
(used with red brick)

Note:
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P01	Issued to Hill Group	08/11/2024
Rev	Description	Date

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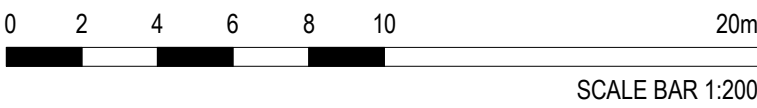
Address Line 1
Address Line 2
City
Postcode
t: 0000 000 0000
e:

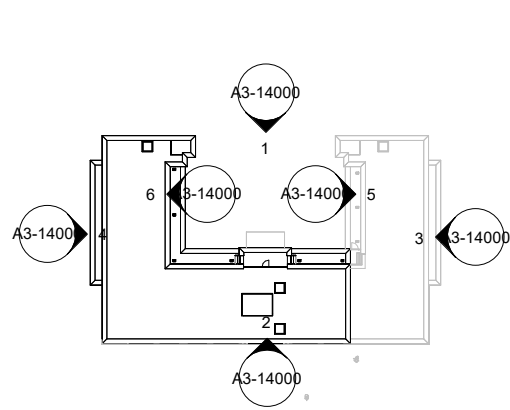
PROJECT ADDRESS
Windsor Street
Coventry
West Midlands
CV1 3DJ

PROJECT NAME
Spon End

DRAWING TITLE
Block A2 - Elevations

SUITABILITY CODE									
S4 - Suitable for Stage Approval									
SCALE	DRAWN	CHECKED	APPROVED	DATE					
1 : 200	FG	PS	DB	20/02/2025					
PROJ NO	AUTHOR	VOLUME	LEVEL	DOCTYP	ROLE	DRW NO	REV NO		
32398	BGL	A2	ZZ	DR	A	14000	P08		





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A1



1 - A3_GA Elevation
1 : 200



2 - A3_GA Elevation
1 : 200

KEY_ELEVATIONS

- 1 Red Brick Multi_grey mortar
- 2 Red Brick Multi_grey mortar
Soldier course stack bond
- 3 Grey/Buff Brick Multi_dark grey mortar
- 4 Grey/Buff Brick Multi_dark grey mortar
Soldier course stack bond
- 5 Brown Brick Multi_dark grey mortar
- 6 Brown Brick Multi_dark grey mortar
Soldier course stack bond
- 7 White Brick_white mortar
- 8 White Brick_white mortar
Soldier course stack bond
- 9 Green Glazed Brick_white mortar
- 10 Aluminium Cladding PPC RAL 1019

Windows, doors and metalwork

- 11 RAL 1019_Bronze
(used with grey/buff and white brick)
- 12 RAL 7002_Olive Grey
(metalwork on internal walkways only)
- 13 RAL 7006_Beige Grey
(used with brown brick)
- 14 RAL 7016_Antracite Grey
(used with red brick)

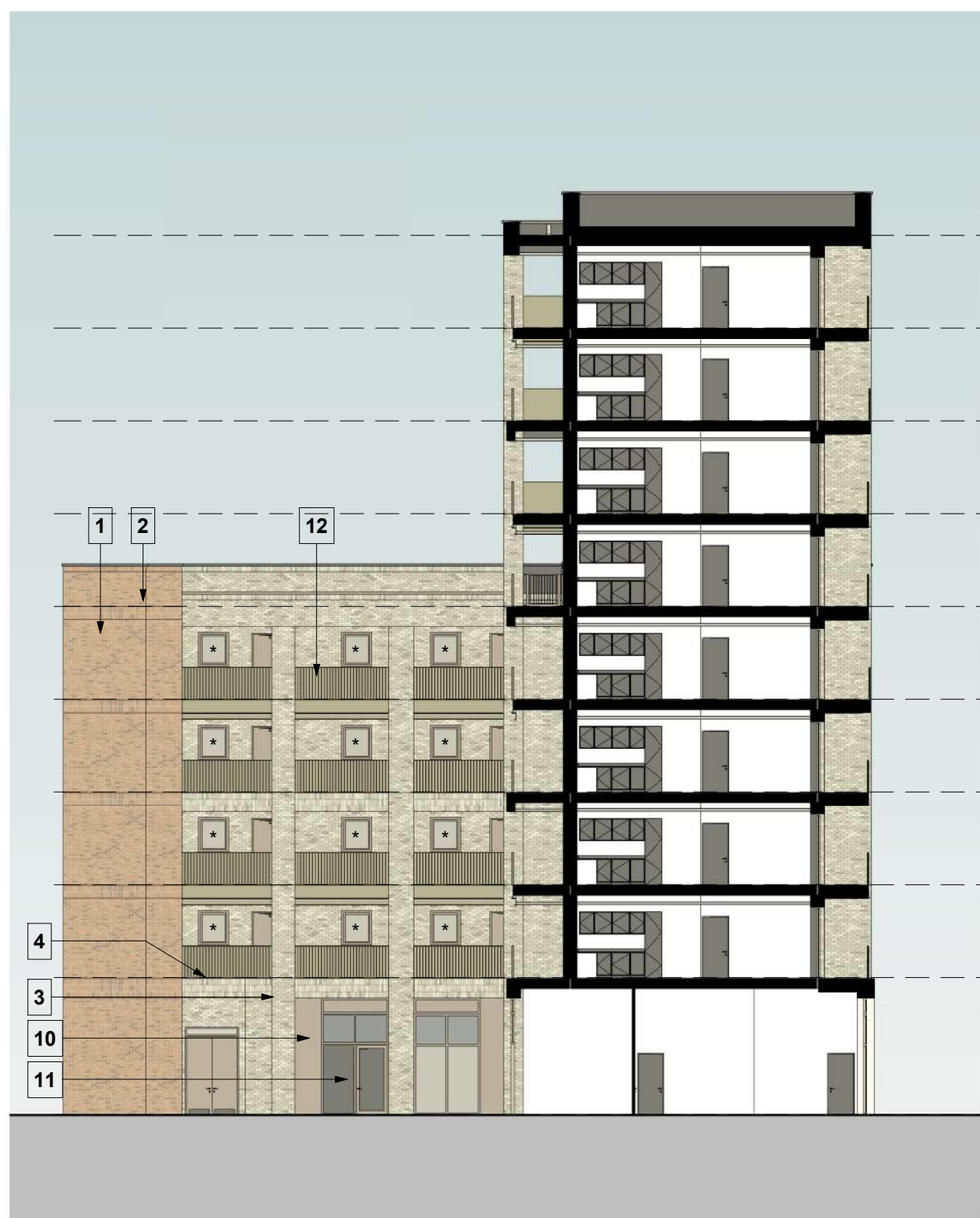
Note:
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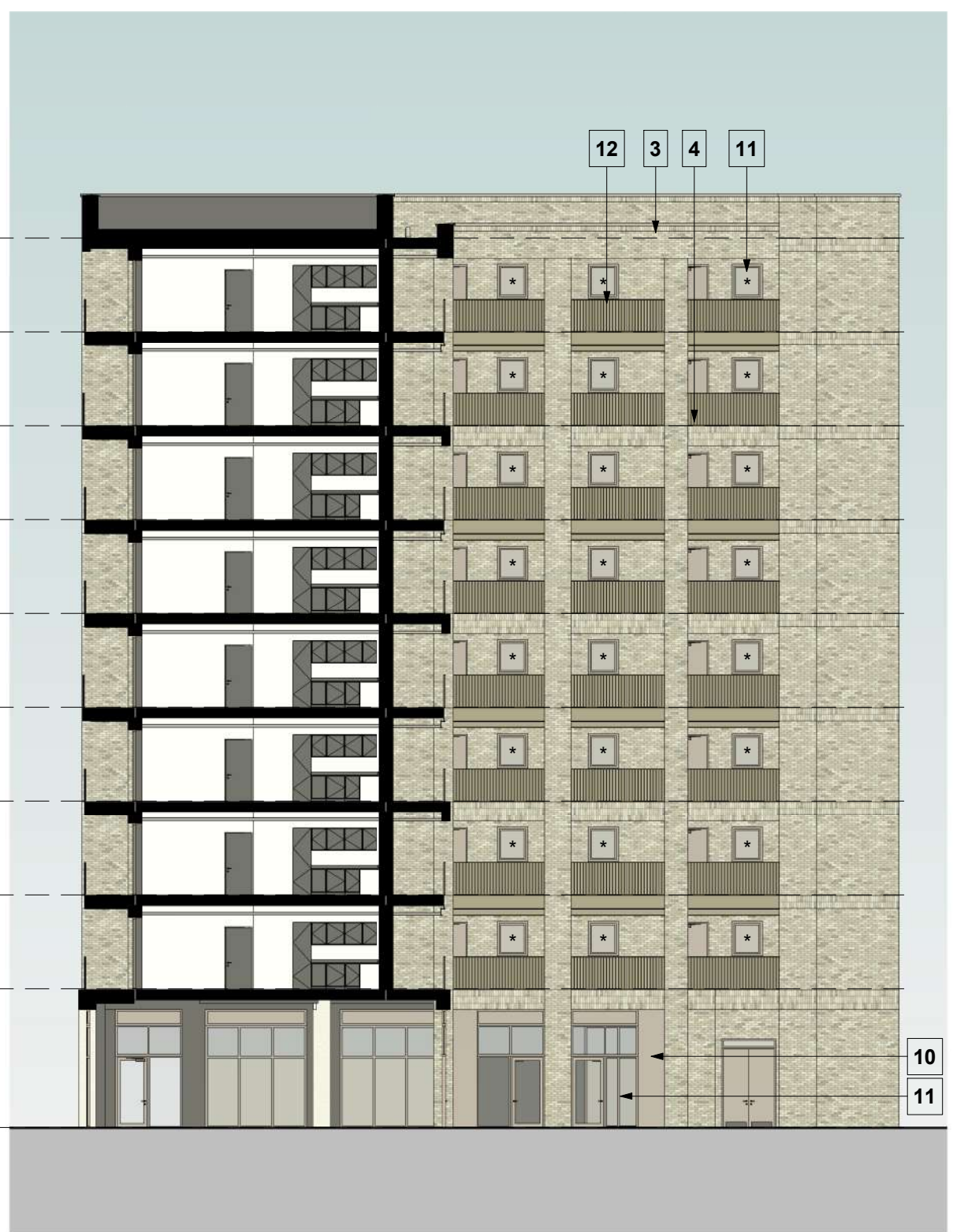
3 - A3_GA Elevation
1 : 200



4 - A3_GA Elevation
1 : 200



5 - A3_GA Elevation
1 : 200



6 - A3_GA Elevation
1 : 200

P08	Issued for Planning Submission	26/09/2025
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Windsor Street
Coventry
West Midlands
CV1 3DJ

PROJECT NAME
Spon End

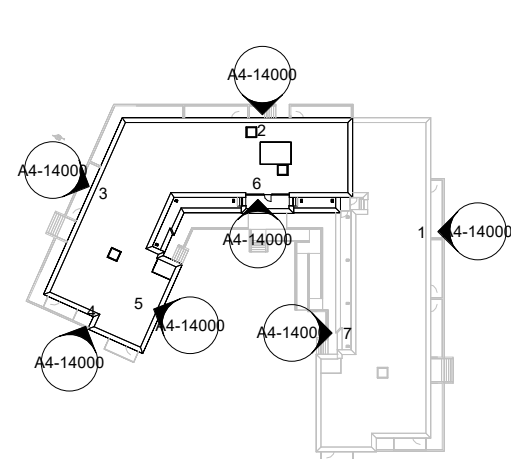
DRAWING TITLE
Block A3 - Elevations

SUITABILITY CODE
S4 - Suitable for Stage Approval

SCALE
1 : 200

PROJ NO | AUTHOR | VOLUME | LEVEL | DOCTYP | ROLE | DRW NO | REV NO
32398 - BGL - A3 - ZZ - DR - A - 14000 | P08

0 2 4 6 8 10 20m
SCALE BAR 1:200



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A1



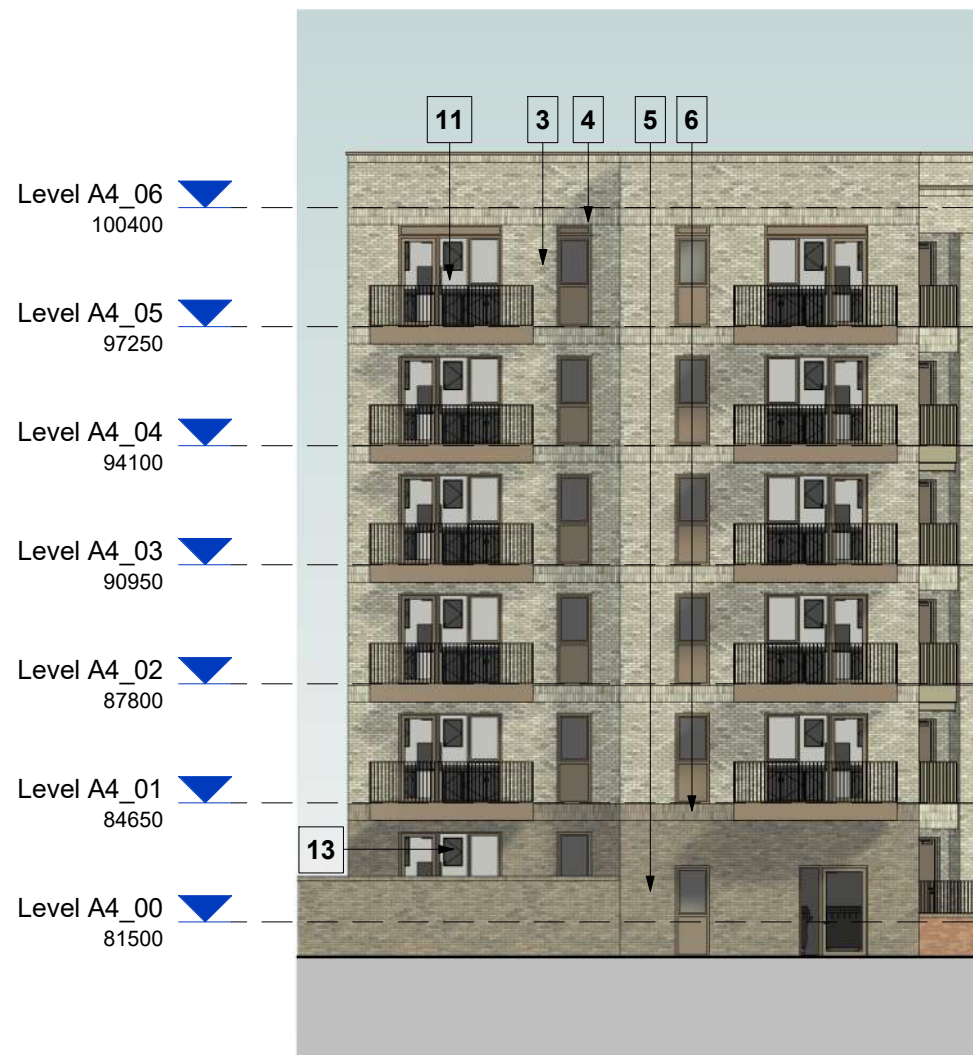
1 - A4_GA Elevation
1 : 200



2 - A4_GA Elevation
1 : 200



3 - A4_GA Elevation
1 : 200



4 - A4_GA Elevation
1 : 200



5 - A4_GA Elevation
1 : 200



6 - A4_GA Elevation
1 : 200



7 - A4_GA Elevation
1 : 200

KEY_ELEVATIONS

- 1 Red Brick Multi_grey mortar
- 2 Red Brick Multi_grey mortar
Soldier course stack bond
- 3 Grey/Buff Brick Multi_dark grey mortar
- 4 Grey/Buff Brick Multi_dark grey mortar
Soldier course stack bond
- 5 Brown Brick Multi_dark grey mortar
- 6 Brown Brick Multi_dark grey mortar
Soldier course stack bond
- 7 White Brick_white mortar
- 8 White Brick_white mortar
Soldier course stack bond
- 9 Green Glazed Brick_white mortar
- 10 Aluminium Cladding PPC RAL 1019

Windows, doors and metalwork

- 11 RAL 1019, Bronze
(used with grey/buff and white brick)
- 12 RAL 7002 Olive Grey
(metalwork on internal walkways only)
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- 14 RAL 7016 Anthracite Grey
(used with red brick)


Note:

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West Midlands
CV1 3DJ

PROJECT NAME
Spon End

DRAWING TITLE
Block A4 - Elevations

SUITABILITY CODE							
S4 - Suitable for Stage Approval							
SCALE	DRAWN	CHECKED	APPROVED	DATE			
1 : 200	FG	PS	DB	20/02/2025			
PROJ NO	AUTHOR	VOLUME	LEVEL	DOCTYP	ROLE	DRW NO	REV NO
32398	BGL	-	A4	ZZ	-	DR	-
A						14000	P08

