

**Time and Date**

2.00 pm on Thursday, 20th June, 2024

Place

Committee Room 3 - Council House

1. **Apologies for Absence**

2. **Declarations of Interest**

3. **Members Declarations of Contact on Planning Applications**

Members are reminded that contacts about any planning applications on this agenda must, unless reported to this meeting by the Strategic Lead for Planning, be declared before the application is considered.

4. **Minutes of Previous Meeting held on 23 May 2024** (Pages 3 - 6)

5. **Late Representations**

To be circulated at the meeting.

6. **Application PL/2023/0000197/FUL - Garage Block Rear of 152 to 174 Dillotford Avenue,** (Pages 7 - 56)

Report of the Strategic Lead for Planning

7. **Application PL/2023/0001594/HHA - 6 Rochester Road** (Pages 57 - 68)

Report of the Strategic Lead for Planning

8. **Application PL/2024/0000669/HHA - 32 Macaulay Road** (Pages 69 - 80)

Report of the Strategic Lead for Planning

9. **Outstanding Issues**

There are no outstanding issues.

10. **Any other items of public business which the Chair decides to take as matters of urgency because of the special circumstances involved**

Wednesday, 12 June 2024

Note: The person to contact about the agenda and documents for this meeting is
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Membership: Councillors N Akhtar, P Akhtar, R Bailey, J Gardiner, L Harvard (Chair),
T Jandu, G Lewis, G Lloyd, K Maton, C Miks and D Toulson

By invitation: Councillor D Welsh, Cabinet Member for Housing and Communities

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Coventry City Council
Minutes of the Meeting of Planning Committee held at 2.00 pm on Thursday, 23
May 2024

Present:

Members: Councillor L Harvard (Chair)
Councillor N Akhtar
Councillor P Akhtar
Councillor R Bailey
Councillor T Jandu
Councillor G Lloyd
Councillor K Maton
Councillor D Toulson

Other Members: Councillor D Welsh, Cabinet Member for Housing and Communities

Employees (by Service Area):

Planning and Regulation: R Back
G Goodman
Y Lam
A Lynch
A Tew

Highways and Transportation: N Bennison

Law and Governance: O Aremu
U Patel
T Robinson
C Sinclair

Apologies: Councillor J Gardiner, G Lewis and C Miks

Public Business

1. Declarations of Interest

Councillor Bailey declared an interest in the matter referred to in Minute 5 below (Application PL/2024/0000060/FUL – 37 Daventry Road) as he was supporting a petition objecting to the proposal. He did not participate in the consideration of and voting on this item.

2. Members Declarations of Contact on Planning Applications

There were no declarations of contacts.

3. Minutes of the Meeting held on 28 March 2024

The Minutes of the meeting held on 28 March 2024 were agreed and signed as a true record.

4. **Late Representations**

The Committee noted a tabled report which summarised late representations and responses on the following:

Application	Site	Minute
PL/2024/0000060	37 Daventry Road	5
PL/2024/0000191/FUL	16 Middlecotes	11

5. **Application PL/2024/0000060/FUL - 37 Daventry Road**

The Committee considered a report of the Strategic Lead for Planning detailing the above application for a change of use from C3 dwelling house to C2 residential institution with a single storey rear extension, which was recommended for approval.

The Committee considered a petition objecting to the application bearing 128 signatures which was sponsored by Cheylesmore Ward Councillors, Councillor Bailey and Councillor Mosterman. Councillor Bailey attended the meeting and spoke in respect of the petition. Two registered speakers also spoke in respect of their objections to the proposal and the applicant's representatives spoke in support of the application.

The Late Representation report indicated that the site plan had been updated to show two cars on the driveway, rather than three, to allow space for manoeuvring and Conditions 2 and 5 had been updated to reflect the revised plans.

In addition, the Head of Development Management suggested Members may want to consider a revision to Condition 3 to ensure that the C2 use be restricted to being a children's home limited to a maximum of four children, under the age of 17.

RESOLVED that the grant of planning permission for application PL/2024/0000060/FUL be delegated to the Strategic Lead for Planning following consultation with the Chair, subject to conditions including amendments to Condition 3 that the Use be restricted to a children's home and that that the development be occupied by a maximum of 4 children, to the age of 17.

6. **Application PL/2023/0001155/OUTM - Hall Hill Cottage, Fivefield Road**

The Committee considered a report of the Strategic Lead for Planning detailing the above outline application for variation of condition Nos. 20 and No.22 (Occupation

before Fivefield Road Closure); imposed on planning permission reference OUT/2019/0022 granted on 07/02/2022 for Outline application for the demolition of all existing buildings and the erection of up to 550 dwellings and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, diversion of public rights of way, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site (in part). The application was recommended for approval.

Statements from three registered speakers who were objecting to the application were read out. The applicant's representative attended the meeting and spoke in support of the application.

Arising from discussion, Members requested officers to negotiate with applicants the possibility of securing S106 for traffic surveys. In addition, following consideration of the report and questions on the mix of housing, Members asked that this application come back to this Committee at the reserved matters stage.

RESOLVED that the grant of planning permission for Application PL/2024/0000320/RVC be delegated to the Strategic Lead for Planning, following consultation with the Chair, to agree any amendments to the conditions and that this matter be brought back to Committee to consider reserved matters.

7. Application PL/2023/0002525/FUL - 60 Princess Street

The Committee considered a report of the Strategic Lead for Planning detailing the above application for a change of use of single dwellinghouse to 2 no. (one bedroom) flats and the erection of a rear dormer with associated alterations which was recommended for approval.

RESOLVED that planning permission be granted for Application PL/2023/0002525/FUL, subject to conditions.

8. Application PL/2023/0002524/FUL - 88 Station Street West

The Committee considered a report of the Strategic Lead for Planning detailing the above application for a change of use from single dwelling house to 2no. 1 bed flats, dormer to rear, rooflights to front elevation and single storey, infill extension to rear outrigger. The application was recommended for approval.

RESOLVED that planning permission be granted for Application PL/2023/0002524/FUL, subject to conditions.

9. Application PL/2023/0002522/FUL - 12 St Elizabeths Road

The Committee considered a report of the Strategic Lead for Planning detailing the above application for a change of use of single dwellinghouse to 2 no. (one

bedroom) flats and the erection of a rear dormer with associated alterations. The application was recommended for approval.

RESOLVED that planning permission be granted for Application PL/2023/0002522, subject to conditions.

10. Application PL/2023/0002521/FUL - 14 Eld Road

The Committee considered a report of the Strategic Lead for Planning detailing the above application for a change of use from single dwelling house to 2no. 1 bed flats, erection of rear dormer and associated changes. The application was recommended for approval.

RESOLVED that planning permission be granted for Application PL/2023/0002521, subject to conditions.

11. Application PL/2024/0000191/FUL - 16 Middlecotes

The Committee considered a report of the Strategic Lead for Planning detailing the above application for a change of use of from C3 to C4 HMO. 4 Bed, 4 person HMO. The application was recommended for approval.

The Late Representation report indicated that further details of cycle parking and bin storage had been received, therefore Conditions 4 and 5 had been updated accordingly.

RESOLVED that planning permission be granted for Application PL/2024/0000191, subject to conditions.

12. Outstanding Issues

There were no outstanding issues.

13. Any other items of public business which the Chair decides to take as matters of urgency because of the special circumstances involved

There were no other items of public business.

(Meeting closed at 4.00 pm)

Planning Committee Report	
Planning Ref:	PL/2023/0000197/FUL
Site:	Garage Block Rear of 152 to 174 Dillotford Avenue
Ward:	Cheylesmore
Proposal:	Demolition of existing garages and erection of two new dwellings with associated access, parking and landscaping.
Case Officer:	Grace Goodman

SUMMARY

This application seeks planning permission for the development of a brownfield site within a wholly residential area to provide two family homes. Vehicle and pedestrian access to existing adjacent dwellings is to be retained.

BACKGROUND

The application has been recommended for approval. The application has received 7 public representations objecting to the proposal and a petition.

KEY FACTS

Reason for report to committee:	Number of representations including a petition
Current use of site:	Former garage site, hardstanding, parking and access
Proposed use of site:	Residential
Proposed no of units	Two
Housing mix	2 No. 3 bedroomed affordable (Development by Citizen Housing)
Parking provision	Two spaces per unit

RECOMMENDATION

Planning Committee are recommended to grant planning permission subject to conditions.

REASON FOR DECISION

- The proposal is acceptable in principle.
- The proposal will not adversely impact upon highway safety.
- The proposal will not adversely impact upon the amenity of neighbours.
- The proposal makes provision for necessary developer contributions.
- The proposal accords with Policies: DS3, H3, H4, GE3, GE4, DE1, AC1, AC2, AC3, AC4 of the Coventry Local Plan 2016, together with the aims of the NPPF.

SITE DESCRIPTION

The application site is located along an access road taken from Hele Road which consists of 9 garages along with additional off-street parking provision available along the south-western boundary. In addition to this a public footpath runs along Hele Road and provides rear access into residential amenity spaces of the properties along Dillotford Avenue and connects the site with Dillotford Avenue to the north and Watercall Avenue to the west. The residential properties surrounding the application site consist of two storey dwellings located to the north, south and west of the application site.

APPLICATION PROPOSAL

This application seeks full planning permission for the demolition of the existing garages and the erection of two new dwellings with associated access, infrastructure and open space to the entrance of the application site.

Plot Two would be sited to the front of the application site and benefits from an area approximately 218m² with the proposed dwelling occupying 56m² of land. The proposed dwelling would have a maximum height of 9 metres to the ridge with 5.9 metres to the eaves, there would be a maximum length of 7.6 metres with a maximum width of 7.6 metres.

The dwelling itself would be contain a wet room, living room with an open plan kitchen and dining room to the ground floor. The first floor would contain three bedrooms and a bathroom. Parking provision for two vehicles is proposed along with private amenity space.

Plot One would be sited to the rear of the application site and benefits from an area approximately 285m² with the proposed dwelling occupying 69m² of land. The proposed dwelling would have a maximum height of 9.8 metres to the ridge with 5.7 metres to the eaves, there would be a maximum length of 8.8 metres with a maximum width of 7.7 metres.

The dwelling itself would be contain a wet room, living room with an open plan kitchen and dining room to the ground floor. The first floor would contain three bedrooms and a bathroom whereas the second floor would benefit from a fourth bedroom with separate bathroom facilities and a store. Parking provision for two vehicles is proposed at the top of the turning head with private outdoor amenity space retaining the existing tree within the site.

PLANNING HISTORY

None

POLICY

National Policy Guidance

National Planning Policy Framework (NPPF) December 2023. The NPPF sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF increases the focus on

achieving high quality design and states that it is “fundamental to what the planning and development process should achieve”.

The National Planning Practice Guidance (NPPG) adds further context to the NPPF and it is intended that the two documents are read together.

Local Policy Guidance

The current local policy is provided within the Coventry Local Plan 2016, which was adopted by Coventry City Council on 6th December 2017. Relevant policy relating to this application is:

Policy DS1: Overall Development Needs

Policy DS3: Sustainable Development Policy

Policy H3: Provision of New Housing

Policy H4: Securing a Mix of Housing

Policy GE3: Biodiversity, Geological, Landscape and Archaeological Conservation

Policy GE4: Tree Protection

Policy DE1 Ensuring High Quality Design

Policy AC1: Accessible Transport Network

Policy AC2: Road Network

Policy AC3: Demand Management

Policy AC4: Walking and Cycling

Supplementary Planning Guidance/ Documents (SPG/ SPD):

SPD Design Guidance for New Residential Developments

SPD Coventry Connected

CONSULTATION

No Objections received from:

- Housing and Policy Service
- Sustainability (Energy)
- Waste Management
- Seven Trent Water
- Archaeology

No objections subject to conditions/contributions have been received from:

- Local Lead Flood Authority
- Environmental Protection
- Tree Protection Officer
- Highways
- Ecology
- Urban Design and Landscape

Neighbour consultation

- Neighbour notification was sent in accordance with the Communications Record.
- Site notice posted on 26th May 2023.
- Neighbours notified and nine letters of objection has been received raising the following:

1. The properties are three storeys and will overlook neighbouring properties.
2. The design of the properties is out of keeping with the surrounding area.
3. The properties within the surrounding area are not 4 or 5 bed roomed so why do these need to be this size.
4. The current parking situation is dangerous and adding more traffic through the construction of homes would make it worse.
5. Allowing this will enhance the traffic and parking problems already experienced within the surrounding area.
6. The new residents will cause anti-social behaviour as do the existing residents this will make the area feel even more unsafe.
7. The size of the property, immediately to the rear of neighbouring properties, will result in increased noise, overlooking and overshadowing.
8. The property will be set only 1 metre off the common boundary of neighbouring properties.
9. The area has not been sealed as per the application and with all the entry's between the houses will be impossible to make it a safe area to build.
10. The design of the proposal will result in direct overlooking existing properties resulting in a loss of privacy.
11. This will result in an impact on the environment in terms of water, air and noise pollution.
12. Adequate waste management must be considered to ensure the hygiene of the area is not impacted upon and ensure water sources are not contaminated.
13. Factors such as light pollution, visual aesthetics, privacy and sense of space must be carefully considered to ensure no impact on mental health and well-being of existing residents.
14. Views of open space will be replaced with views of a brick wall.
15. Neighbouring properties are on lower ground which will mean the new dwellings will be able to look directly into properties and gardens.
16. The site is not large enough to support two properties with enough room for two cars to pass will endanger children using the area to play.
17. The proposal will result in a loss of light to the properties.
18. The loss of parking provision will mean residents and visitors will have to add to the congested roads made worse by being on a main bus route and with three schools.
19. The drainage systems cannot cope with lower properties previously flooding in adverse weather conditions.

In addition to the public consultation responses a petition has also been submitted to the Local Authority on behalf of Councillor R Brown containing 39 signatures. The submitted petitions relate to the following:

1. Increase in traffic and demand for parking
2. Safety concerns due to increased vehicle movements
3. Increase in anti-social behaviour, gatherings and litter
4. Overlooking and loss of privacy
5. Loss of light
6. Houses are unattractive and have a looming presence
7. Potential harm to trees
8. Negative effect on residents from construction, potential subsidence and flooding.

Within the letters received the following non-material planning considerations were raised, these cannot be given due consideration in the planning process:

- a) Devalue the existing residential dwellings
- b) Noise issues generated through the construction of the dwellings

Any further comments received will be reported within late representations.

APPRAISAL

The main issues in determining this application are principle of development, the impact upon the visual amenity, the impact upon residential amenity, highway considerations, and ecology.

1. Principle of development

1.1 The National Planning Policy Framework, paragraph 11, states that “Plans and decisions should apply a presumption in favour of sustainable development. For Decision Making, this means:-

- c) approving development proposals that accord with an up-to-date development plan without delay; or
- d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless: i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.” Footnote 8 to paragraph 11 confirms that this includes situations where the local authority cannot demonstrate a five year supply of deliverable housing sites.

1.2 The Coventry Local Plan was formally adopted on 6th December 2017. Since it was adopted, the Government introduced the Standard Method, a standardised way of calculating minimum housing need. As the Local Plan is now more than five years old the Standard Method is now the determining factor when considering local housing need. When using the Standard Method the Council is not able to demonstrate a five year housing land supply. As such, the tilted balance is engaged and therefore planning permission should be granted, unless “any adverse impacts of doing so would significantly and demonstrably outweigh the benefits” when assessed against the policies of the NPPF taken as a whole.

1.3 The application site is located within the Cheylesmore area of Coventry which is located within close proximity to the District Centre along Daventry Road and as such is considered to be a sustainable location for the proposed development. It is therefore considered that the application is acceptable in principle subject to all planning matters being appropriately addressed.

2. Impact on visual amenity

2.1 Policy DE1 of the Local Plan seeks to ensure high quality design and development proposals must respect and enhance their surroundings and positively contribute towards the local identity and character of an area.

2.2 The National Planning Policy Framework, paragraph 127 states that “Planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

2.3 The NPPF further states (at paragraph 130) “Permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions, taking into account any local design standards or style guides in plans or supplementary planning documents. Conversely, where the design of a development accords with clear expectations in plan policies, design should not be used by the decision-maker as a valid reason to object to development. Local planning authorities should also seek to ensure that the quality of approved development is not materially diminished between permission and completion, as a result of changes being made to the permitted scheme (for example through changes to approved details such as the materials used).”

2.4 The SPD expects new residential development to respond to the size, shape and rhythm of surrounding plot layouts. The proposal would sit at odds with the typical positioning of properties in the area however the site is infill development, and the layout would be the most logical arrangement of the two properties to ensure space standards are met. Furthermore, the appearance of the proposed houses would be of a similar style to the properties in the area with half red brick and half white composite cladding as can be seen on Dillotford Avenue.

2.5 It is therefore considered that would not result in an adverse impact on the character and appearance of the surrounding area and in accordance with Policy DE1 of the Local Plan, New Residential Design Guide and Section 12 of the NPPF.

3. Impact on residential amenity

3.1 Policy DE1 of the Local Plan states that the impact and function of the development should be considered not just for the short term, but also for the lime time of the development. In addition, Paragraph 135 (f) of the NPPF states that proposals should maintain a high standard of amenity for existing and future users.

3.2 Representations received raised concerns regarding residential amenity and potentially overlooking, loss of privacy and loss of light. Whilst window to window distances from front and rear windows to adjacent properties would exceed the recommended 20 m distance in the residential SPD

Existing Occupiers

3.3 No. 152 – 174 Dillotford Avenue are located to the north/northeast of the application site and are two rows of terraced properties all of which benefit from rear amenity spaces enclosed by 2-metre-high boundary fences. There are a total of 3 windows in the side elevations of the new properties that will face the rear of Dillotford Avenue, however the windows would be obscure glazed at first floor and secondary in nature at ground floor. Given the secondary nature of the windows, combined with a separation distance of at least 12 metres it is therefore considered that there will be no materially adverse impacts on the occupiers of Dillotford Avenue in terms of loss of light, overbearing impact and loss of privacy.

3.4 No. 71 – 53 Ivybridge Road are located to the south/southwest of the application site and are five pairs of semi-detached properties with rear amenity spaces enclosed by a 2-metre-high boundary fences. The side elevations of the new properties facing the rear of Ivybridge Road would not contain any windows and would have a separation distance separated from the application site by at least 15.3 metres, as such there will be no materially adverse impacts on the occupiers of Ivybridge Road in terms of loss of light, overbearing impact and loss of privacy.

3.5 No. 150 Dillotford Avenue is located to the northwest of the application site and is an end terraced property with rear amenity spaces enclosed by a 2-metre-high boundary fence with 14m from the boundary of No. 150 to the nearest elevation on the application site.

3.6 Access through to Watercall Avenue and the rear of all properties long Dillotford Avenue would be retained via a hard surfaced area to the side of plot 1.

Proposed Occupiers

3.7 The SPD states that a minimum depth of 10 metres of rear garden will normally be required in the interest of achieving acceptable standards of daylighting, to minimise overshadowing and maintain privacy. In addition to this a minimum of 50m² of outdoor amenity space should be provided for a property occupying 3 or more persons.

3.7 The gardens proposed would vary in size. Plot 1 would have a generous garden (c.187 sq m) due to the space at the front and rear of the property to be enclosed and plot 2 (c. 118 sq m). This would exceed the 65 sq m SPD requirement and would provide for a good standard of amenity to future occupants due to the distance from adjoining properties.

3.8 Representations received refer to the potential for an increase in anti-social behaviour and littering as a result of the development. The Design and Access statement refers to the under use of the site and some areas being overgrown and littered. The

provision of dwellings would improve the appearance of the site, being beneficial to the wider area and would introduce an increased natural surveillance of the site.

3.9 A condition to secure a Construction Management Plan would be imposed to protect residential amenity during construction.

3.10 There would be no conflict with policy DE1 of the Local Plan, part 12 of the NPPF and adopted residential design SPD. The benefits arising from the development on this site would represent a moderate beneficial impact

4. Highway considerations

4.1 Policy AC1 'Accessible Transport Network' states that development proposals which are expected to generate additional trips on the transport network should: a) Integrate with existing transport networks including roads, public transport and walking and cycling routes to promote access by a choice of transport modes. b) Consider the transport and accessibility needs of everyone living, working or visiting the city. c) Support the delivery of new and improved high quality local transport networks which are closely integrated into the built form. d) Actively support the provision and integration of emerging and future intelligent mobility infrastructure.

4.2 Policy AC3 of the Local Plan acknowledges that the provision of car parking can influence occurrences of inappropriate on-street parking which can block access routes for emergency, refuse and delivery vehicles, block footways preventing access for pedestrians, reduce visibility at junctions and impact negatively on the street scene. Proposals for the provision of car parking associated with new development will be assessed on the basis of parking standards set out in Appendix 5. The car parking standards also include requirements for the provision of electric car charging and cycle parking infrastructure.

4.3 Parking provision should accord with the maximum standard expressed in Appendix 5 unless it has been clearly demonstrated that the site is in a highly accessible location where transport, by means other than the private car is a realistic alternative. In that respect lower levels of provision may be considered acceptable where the site is in close proximity to the City Centre, a train station, a high-quality rapid transport route or other public transport interchange and where there is a package of measures (proportionate to the scale of development) to enable sustainable means of transport. Any variation from the maximum standard must be fully justified by proportionate evidence.

4.4 For clarity a 3 and 4 and 5-bedroom dwelling would need to provide two parking spaces and two cycle spaces per plot in order to comply with Appendix 5 of the Local Plan. It is clear from the Site Plan provided that two parking spaces can be provided within the application site, whilst no provision for cycle spaces has been identified on the site plan. Whilst the application is not wholly compliant with the requirements of the Local Plan it is considered that the required cycle storage can be conditioned and as such would not be sufficient to warrant refusal of the application on these grounds.

4.5 The redevelopment of the site will cause some loss of parking, however most of the properties in the area have off street parking except for the properties along Dillotford Avenue that back onto the site. However, Dillotford Avenue and Hele Road both have

unrestricted on street parking available for the residents to use and thus the need for the parking on the garage court is low. The small loss of parking and not considered a reason to refuse the application due to the availability of other places to park and highways raise no objection to the proposals on this basis.

Access

4.5 The existing access junction to the site is wide with a large kerb radius for vehicles turning into the site, due to the nature of the development, a vehicle crossover should be provided as opposed to the bell mouth junction. This will then provide residents with an uninterrupted route; however, it also needs to be demonstrated that the required driver and pedestrian visibility splays can be provided and maintained at the vehicle access. The layout of the access junction in the vehicle tracking drawing is also different to that in the proposed site plan. The southernmost kerb radius would lead straight into a grassed area, with a 90o entry radius shown for vehicles turning left into the site from Hele Road, which is not acceptable for a vehicle access.

Servicing

4.6 A bin store has been proposed within the application site, near to the vehicular access. This should reduce the distance future occupants will have to carry waste.

4.7 Further to the submission of Proposed Site Layout (N1697/495/E) it has been confirmed by colleagues within the Highways Authority that the existing access onto Hele Road will be amended in order to create a dropped kerb as opposed to the bell mouth previously proposed. This has given priority to pedestrian movements and also been able to demonstrate that pedestrian visibility can be achieved at the access point.

4.8 In addition to this the location and layout of car parking spaces allocated to Plot 1 has been revised and addresses the previously raised concerns in relation to the proposal, along with the incorporation of a bin collection point in close proximity to the access to the site. It is therefore considered that following the revisions the Highway Authority have no objection to the proposal subject to the inclusion of appropriate conditions and informatives.

5. Ecology and biodiversity

5.1 The NPPF expects decisions to contribute to and enhance the natural and local environment by minimising impacts on and providing net gains for biodiversity. (Paragraph 180). Policy GE3 of the local plan and the Biodiversity SPD echoes this providing a gauge for this to be assessed.

5.2 The land is predominantly hard standing, with small amounts of amenity grassland, introduced shrub, and trees bordering the site and other properties, all trees will be retained by the development.

5.3 The application includes a Preliminary Ecological Assessment and Biodiversity Impact Assessment that calculates an 87% gain due to the creation of new garden spaces and the planting of new trees, a BNG is accepted. The new trees should be native fruit

5.4 Conditions are also requested to secure protected species mitigation for nesting birds, fencing adjustments for hedgehogs and the specific biodiversity enhancements.

6. Trees

6.1 The NPPF highlights that trees make an important contribution to the character and quality of urban environments and can also help to mitigate and adapt to climate change and seeks to retain existing trees where possible. The Trees and development SPD states that "preference should be given to retaining A and B category trees." Policy GE4 of the Local Plan supports development proposals where trees not to be retained as a result of development are replaced with new trees as part of a well-designed landscape scheme.

6.2 The layout allows for the retention of existing mature trees within the site which are considered to be attractive features within the locality. The Tree Protection Plan submitted is considered acceptable by the Tree Protection Officer provided that an Arboricultural method statement is submitted and approved in writing prior to any development commencing on site.

Flood Risk

Policy EM4 states that all major developments must be assessed in respect of the level of flood risk from all sources. If development in areas at risk of flooding is the only option following the application of the sequential test, it will only be permitted where the criteria set out in Policy EM4 are met.

Contaminated land

Policy EM6 seeks to ensure that redevelopment of previously developed land does not have a negative impact on water quality, either directly through pollution of surface or ground water or indirectly through the treatment of waste water by whatever means.

Air quality

With the city being declared an Air Quality Management Area since 2009 for nitrogen dioxide, primarily as a result of traffic related emissions, and the more recent Ministerial Direction that requires the city council to implement a package of measures to reduce nitrogen dioxide emissions to legal levels within the 'shortest possible time'. Policy AC1 of the Local Plan and Coventry Connected SPD requires the infrastructure for electric vehicles to be installed through planning condition; in this case one space per dwelling. The policies reflect paragraph 181 of the NPPF. This can be secured through a condition requiring electric vehicle charging points to be provided.

A CEMP has been requested in respect of vehicular emission and dust and dirt mitigation. This has been included as part of the CMP.

Equality Implications

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states:-

(1) A public authority must, in the exercise of its functions, have due regard to the need to:

- a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;

- b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
- c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

Planning balance

The development would result in the delivery of housing by a registered provider that would contribute to the housing supply and affordable provision on previously developed land in a sustainable location which is supported in principle. On matters of detail due to the specific locational and design characteristics, whilst noting that the layout is not typical of the area, the proposal would overall deliver good design that respects the character of the area in accordance with development plan policies, the Residential Design Guidance SPD and the NPPF.

Due to the lack of a five-year housing land supply, the ‘tilted balance’ is engaged, whereby in applying the presumption in favour of sustainable development even greater weight should be accorded in the overall planning balance to the provision of new housing. There would be identifiable benefits from this small level of housing provision, with only a limited adverse impact in respect of loss of parking. The identified adverse impact would not significantly and demonstrably outweigh the benefits identified. Planning permission should therefore be granted.

Conclusion

The proposed development is considered to be acceptable in principle and will not result in any significant impact upon Visual Amenity, Residential Amenity, Highway Safety or Ecology, subject to relevant conditions and contributions. The reason for Coventry City Council granting planning permission is because the development is in accordance with relevant Policies of the Coventry Local Plan 2017, together with the aims of the NPPF.

CONDITIONS / REASON FOR REFUSAL

1.	The development hereby permitted shall begin not later than 3 years from the date of this decision.
Reason	<i>To conform with Section 91 of the Town and Country Planning Act 1990 (as amended)</i>
2.	The development hereby permitted shall be carried out in accordance with the following approved plans:

	<p>Proposed Site Layout DWG 495-F Site Location Plan DWG 496-A Existing Site Plan DWG 497-A External Works Boundary Treatments DWG 498-B 4B Housetype DWG 1410-B 3B Housetype DWG 1412-A Existing Front Elevation DWG 2205 Plot 2 Existing Front Elevation DWG 2207 Plot 2 Proposed Front Elevation DWG 2208-B Existing Side Elevation DWG 2209 Proposed Side Elevation DWG 2210-C Sustainability Statement Transport Assessment Topographical Survey Biodiversity survey and report Ecological Appraisal and Biodiversity Impact Assessment Services Records Telecoms supplementary info Geo-Environmental Report Design and Access Statement Proposed Front Elevation DWG 2206-B Tree Protection Method Statement DWG 495-2 Tree Protection Plan DWG 495-2</p>
Reason	<i>For the avoidance of doubt and in the interests of proper planning.</i>
3.	Prior to their incorporation into the development hereby permitted, sample details of all facing and roofing materials shall be submitted to and approved in writing by the Local Planning Authority. These details shall be installed only in full accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2017.</i>
4.	Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any statutory instrument amending, revoking and/or replacing that Order, the first floor window to be formed in the north facing elevation of the dwellings hereby permitted shall only be glazed or re-glazed with obscure glass and any opening part of any window will be at least 1.7m above the floor of any room in which the window is installed
Reason	<i>In the interests of the amenities of the occupiers of nearby properties in accordance with Policy DE1 of the Coventry Local Plan 2017.</i>

5.	No development or other operations (including any demolition, site clearance or other preparatory works) shall commence unless and until the tree protection measures identified in the approved application documentation have been put into place in strict accordance with the approved details and thereafter, they shall remain in place during all construction work. In addition no excavations, site works, stock piling, trenches or channels shall be cut or pipes or services laid, no fires shall be lit within 10 metres of the nearest point of the canopy or root protection area of any protected tree(s); no equipment, machinery or structure shall be located within this zone; no mixing of cement or use of other contaminating materials or substances shall take place within, or close enough to, a root protection area that seepage or displacement could cause them to enter a root protection area or any other works carried out in such a way as to cause damage or injury to the tree(s) by interference with their root structure and that no soil or waste shall be deposited on the land in such a position as to be likely to cause damage or injury to the tree(s).
Reason	<i>To protect those trees which are of significant amenity value to the area and which would provide an enhanced standard of appearance to the development in accordance with Policy GE3 and GE4 of the Coventry Local Plan 2017.</i>
6.	No development or other operations (including any demolition, site clearance or other preparatory works) shall commence unless and until a detailed Arboricultural Method Statement has been submitted to and approved in writing by the Local Planning Authority. This shall include details of; the methodology for carrying out a hand dug exploratory trench/pit within the Root Protection Area without causing damage to those roots greater than 25mm diameter, contingency should roots be discovered within trench/pit, design of foundations to respect a 200-300mm air void located between the existing ground level and lower surface level of suspended foundation floor, and full tree protection details. The development shall only be carried out in strict accordance with the approved details.
Reason	<i>To protect those trees which are of significant amenity value to the area and which would provide an enhanced standard of appearance to the development in accordance with Policy GE3 and GE4 of the Coventry Local Plan 2017.</i>
7.	Prior to the first occupation of the development hereby permitted, details of both hard and soft landscaping works shall be submitted to and approved in writing by the Local Planning Authority. Details of hard landscaping works shall include boundary treatment, including full details of the proposed boundary walls, railings and gates to be erected, specifying the type of bricks and colour of the railings and gates; footpaths; and hard surfacing (which shall be made of porous materials or provision shall be made to direct run-off water from the hard surface to a permeable or porous area).

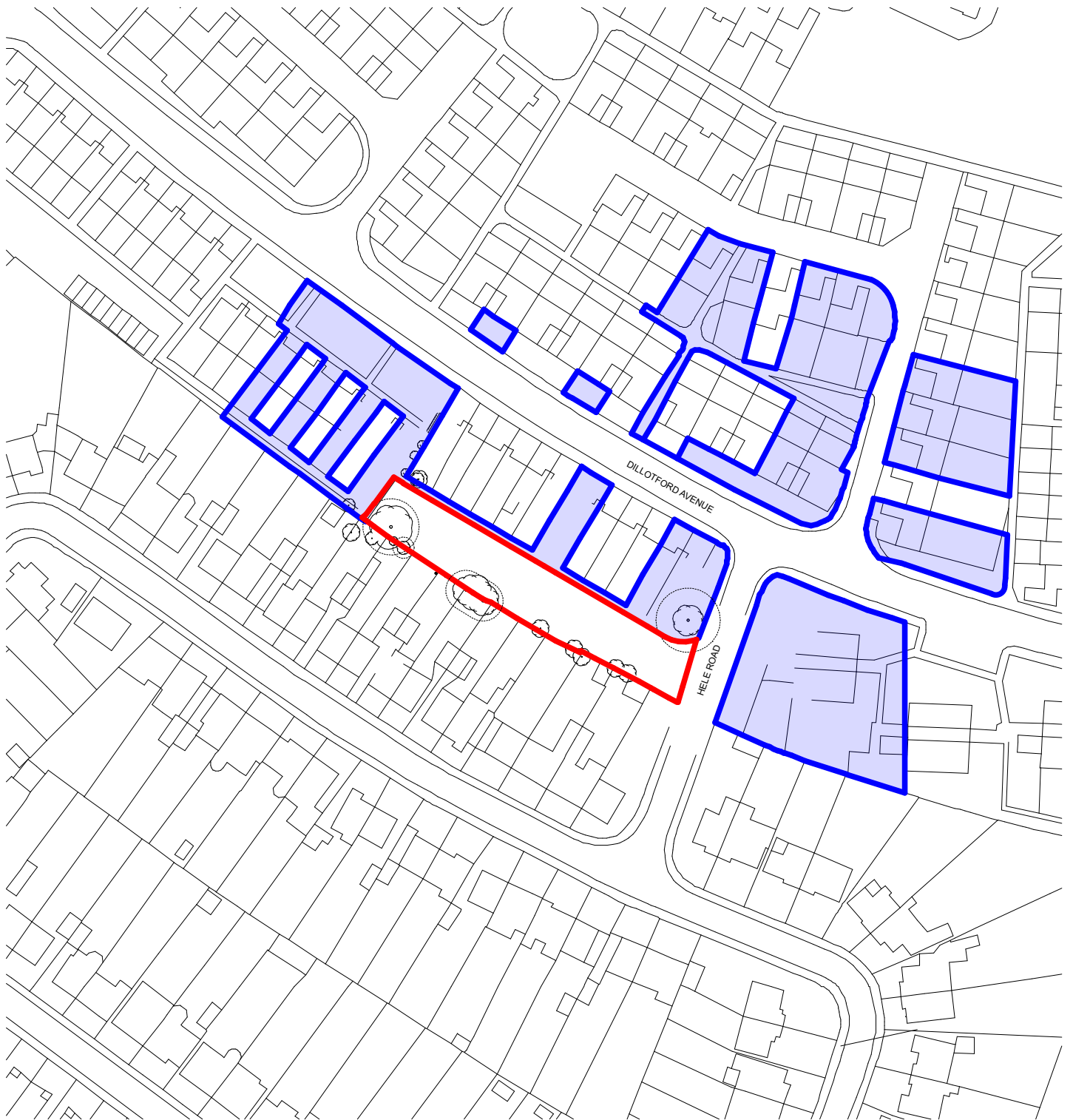
	<p>The hard landscaping works shall be completed in strict accordance with the approved details within three months of the first occupation of the dwellings hereby permitted; and all planting shall be carried out in accordance with the approved details within the first planting and seeding seasons following the first occupation. Any tree(s) or shrub(s) which within a period of five years from the completion of the development dies, is removed or becomes; in the opinion of the Local Planning Authority; seriously damaged, defective or diseased shall be replaced in the next planting season with another of similar size and species. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations.</p>
Reason	<p><i>To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policies GE1 and DE1 of the Coventry Local Plan 2017.</i></p>
8.	<p>Prior to commencement of development the following drainage information shall be submitted and approved in writing and approved by the Local Planning Authority:</p> <ul style="list-style-type: none"> -An appropriately scaled intrusive ground investigation report to identify the presence and risk associated with migrant or soluble contaminants. -Provision for the drainage of the site to ensure there is no discharge of surface water to the Public Highway. - A Demolition Management Plan to identify the risks to underground drainage and other buried services and a management strategy to reduce damage and prevent blockage. -Surface water and foul drainage plan showing how the new buildings will connect to the main sewerage system <p>The development should be carried out in accordance with the approved details.</p>
Reason	<p><i>To ensure that adequate drainage facilities are available for the satisfactory and proper development of the site in accordance with Policy EM5 of the Coventry Local Plan 2017.</i></p>
9.	<p>The residential accommodation hereby permitted shall not be occupied unless and until the bin storage areas have been provided in full accordance with the details shown on the approved plans and thereafter, they shall remain available for use at all times and shall not be removed or altered in any way. The bin collection point located to the entrance of the</p>

	site shall be available for use prior to occupation of the dwellings hereby permitted and remain available at all times thereafter.
Reason	<i>In the interests of the amenities of the future occupants of the residential accommodation in accordance with Policy DE1 of the Coventry Local Plan 2017.</i>
10.	Prior to the first occupation of the development hereby permitted, details of general ecological habitat enhancement measures and hedgehog mitigation measures shall be submitted to and approved in writing by the Local Planning Authority. Such measures shall include; retention and management of boundary vegetation, and hedgehog friendly boundary fencing and gates. The habitat enhancement measures shall be undertaken in strict accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2017 and the advice contained within the NPPF.</i>
11.	No removal of trees/hedges/shrubs or demolition of buildings/structures shall take place between 1st March and 31st August (inclusive) unless a survey to assess the nesting bird activity on the site during this period has been undertaken by a qualified surveyor, and a scheme to protect any nesting birds identified on the site has first been submitted to and approved in writing by the Local Planning Authority.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2017 and the advice contained within the NPPF.</i>
12.	Prior to the first occupation of the development hereby permitted, a combined ecological and landscaping scheme shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include all aspects of landscaping including details of any compensation for biodiversity loss, including the erection of bat boxes and/or bird nesting boxes (to include box type, numbers, location and timing of works). The approved scheme shall be fully implemented in strict accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2017 and the advice contained within the NPPF.</i>

13.	None of the dwellings hereby permitted shall be occupied unless and until the car parking provision for that dwelling has been constructed or laid out and made available for use by the occupants and / or visitors to the dwellings and thereafter those spaces shall be retained for parking purposes at all time and shall not be removed or altered in any way.
Reason	<i>To ensure the satisfactory provision of off-street vehicle parking facilities in accordance with the Council's standards and in the interests of highway safety and the satisfactory development of the site in accordance with Policies AC1,AC2 and AC3 of the Coventry Local Plan 2017.</i>
14.	Prior to occupation of the dwellings hereby permitted, details of cycle parking facilities shall be submitted to and approved in writing by the Local Planning Authority. The cycle parking facilities shall be provided in full accordance with the approved details prior to first occupation of the building and thereafter those facilities shall remain available for use at all times and shall not be removed or altered in any way.
Reason	<i>In the interests of encouraging the use of alternative modes of transport with the aim of creating a more sustainable city in accordance with Policies DS3, AC3 and AC4 of the Coventry Local 2017.</i>
15.	No development (including any demolition) shall take place unless and until a Construction Management Plan (CMP) has been submitted to and approved in writing by the Local Planning Authority. The CMP shall include details of: - hours of work; - hours of deliveries to the site; - the parking of vehicles of site operatives and visitors during the demolition/construction phase; - the delivery access point; - the loading and unloading of plant and materials; - anticipated size and frequency of vehicles moving to/from the site; - the storage of plant and materials used in constructing the development; - the erection and maintenance of a security hoarding including decorative displays and facilities for public viewing where appropriate; - wheel washing facilities and other measures to ensure that any vehicle, plant or equipment leaving the application site does not carry mud or deposit other materials onto the public highway; - measures to control the emission of dust and dirt during demolition and construction; - measures to control the presence of asbestos; - measures to minimise noise disturbance to neighbouring properties during demolition and construction; - details of any piling together with details of how any associated vibration will be monitored and controlled; and - a scheme for recycling / disposing of waste resulting from demolition and construction works. Thereafter, the approved details within the CMP shall be strictly adhered to throughout the construction period and shall not be amended in any way.
Reason	<i>The agreement of a Construction Management Plan prior to the commencement of development is fundamental to ensure a satisfactory level of environmental protection; to minimise disturbance to local residents</i>

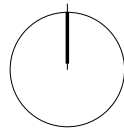
	<i>and in the interests of highway safety during the construction process in accordance with Policies [EM7], AC1 and AC2 of the Coventry Local Plan 2017.</i>
16.	The development hereby permitted shall not be occupied unless and until the access to the site, manoeuvring space(s) and car parking area(s) indicated on the approved drawings have been provided in full accordance with those details and thereafter those areas shall be kept marked out and available for such use at all times.
Reason	<i>In the interests of highway safety in accordance with the aims and objectives of Policies AC1, AC2 and AC3 of the Coventry Local Plan 2016.</i>
17.	An investigation and risk assessment (in addition to any assessment provided with the planning application), must be completed in accordance with a scheme to assess the nature and extent of any contamination on the site; whether or not it originates on the site; and any report of the findings must be submitted to and approved in writing by the local planning authority prior to the commencement of development (including any demolition). The report of the findings, to be conducted in accordance with Environment Agency Guidance Land Contamination: Risk Management (2021) and must include (i) a survey of the extent, scale and nature of contamination; (ii) an assessment of the potential risk to; human health, property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes, adjoining land, groundwaters and surface waters, ecological systems, archaeological sites and ancient monuments; (iii) an appraisal of remedial options and proposal of the preferred option(s)
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2017 and the aims and objectives of the NPPF</i>
18.	The development shall only be undertaken in accordance with a detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment, which shall be submitted to and approved in writing by the local planning authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2017 and the aims and objectives of the NPPF</i>

19.	The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development other than that required to carry out the remediation. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2017 and the aims and objectives of the NPPF</i>
20.	Prior to occupation of the development hereby permitted and following completion of the measures identified within the remediation scheme approved under condition No. 19, a verification report that demonstrates the effectiveness of the remediation carried out must be produced and submitted to the Local Planning Authority for approval in writing
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2017 and the aims and objectives of the NPPF</i>
21.	In the event that contamination is found at any time when carrying out the approved development, that was not previously identified, it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with the requirements of condition 17, and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of condition 18, which shall be submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority in accordance with condition 20.
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2017 and the aims and objectives of the NPPF</i>
22.	Any gas boilers installed on site shall have a dry NOx emission rate of no more than 40mg/kWh. One electric vehicle recharging point per dwelling shall be provided prior to occupation and shall not be removed or altered in any way and shall be kept available for such use by residents at all times.
Reason	<i>To mitigate the impacts of development on air quality in accordance with Policy DS3 of the Coventry Local Plan 2017 and the aims and objectives of the NPPF.</i>



1/1250

0 25 50 100m



North

KEY

- Site boundary
- Other Citizen land
Not an absolute record; other areas shown on this plan may be owned by Citizen Housing

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C	17.10.22	PLANNING ISSUE. Updated with topographical info	EJ	RM
Rev.	Date	Description	Drwn.	Check

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Drawing Title
Site 229 Dilottford Avenue Site Location Plan
 Project
 Coventry Garage Sites
 Client
 Citizen Housing
 Scales @ A4 First Issue Date Drawn Check
 1:1250 January 2022 HC RM
 Job Number _ Dwg. No. _ Revision [RIBA Stage] - Drawing Status
 N1697_496_A_ [3] - PLANNING





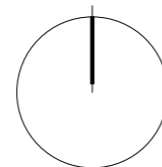
KEY

- Private gardens
- Citizen maintained green space
- Hard surfacing/ parking
- 3B5P House
- 4B8P House
- Proposed tree
- Existing tree & RPA

Scale

Rev.	Date	Description	Drwn.	Check
F	07.09.23	PLANNING ISSUE. Updated following planners comments (JO email 13.07.23 & 05.09.23)	RM	
E	27.06.23	PLANNING ISSUE. Updated following planners comments (JO email 31.05.23 & 21.06.23)	RM	
D	28.10.22	PLANNING ISSUE. Updated following comments from transport	HC	RM
C	17.10.22	PLANNING ISSUE. Updated with topographical information	EJ	RM
B	06.12.21	PRE-APP ISSUE. Updated following site visit	RM	MJ
A	15.09.21	Schedule of accommodation updated	RM	MJ

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Drawing Title
 Site 229 Dillotford Avenue Proposed Site Layout
 Project
 Coventry Garage Sites
 Client
 Citizen Housing
 Scales @ A3
 1:500
 Job Number _ Dwg. No. _ Revision
 N1697_495_F_
 First Issue Date
 August 2021
 [RIBA Stage] - Drawing Status
 [3] - PLANNING
 Drawn
 RM
 Check
 MJ

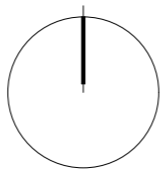




Scale

A		17.10.22	PLANNING ISSUE. Updated with topographical information	EJ	RM
Rev.	Date	Description	Drwn.	Check	
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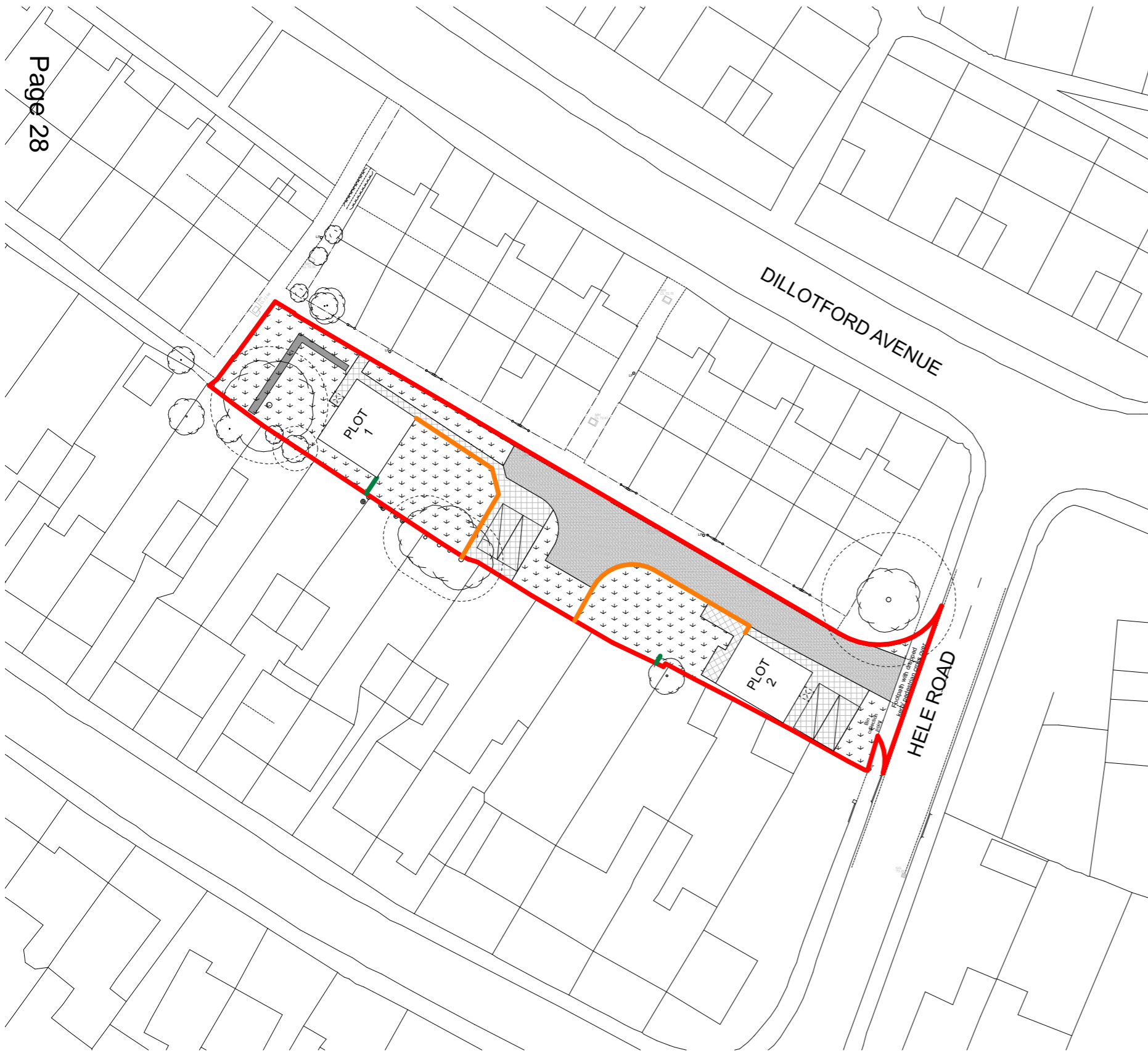
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 Site 229 Dilottford Avenue Existing Site Plan
 Project
 Coventry Garage Sites
 Client
 Citizen Housing
 Scales @ A3
 1:500
 Job Number _ Dwg. No. _ Revision
 N1697_497_A_

First Issue Date
 January 2022
 [RIBA Stage] - Drawing Status
 [3] - PLANNING





Drawn
 HC
 Check
 RM



Halsall Lloyd Partnership
 ARCHITECTS & DESIGNERS

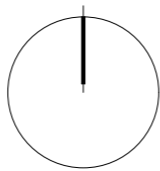


KEY

-  Grass/ soft landscaping
-  Hard surfacing/ parking
-  Tarmac (repaired/ resurfaced TBC on condition)
-  1.8m close boarded timber fence
-  Proposed tree planting
-  Proposed hedge planting
-  900mm brick wall with 900mm timber fence

Scale

Rev.	Date	Description	Drwn.	Check
B	20.09.23	PLANNING ISSUE. Updated following planners comments (JO email 14.09.23)		RM
A	27.06.23	PLANNING ISSUE. Updated following planners comments (JO email 31.05.23 & 21.06.23)		RM
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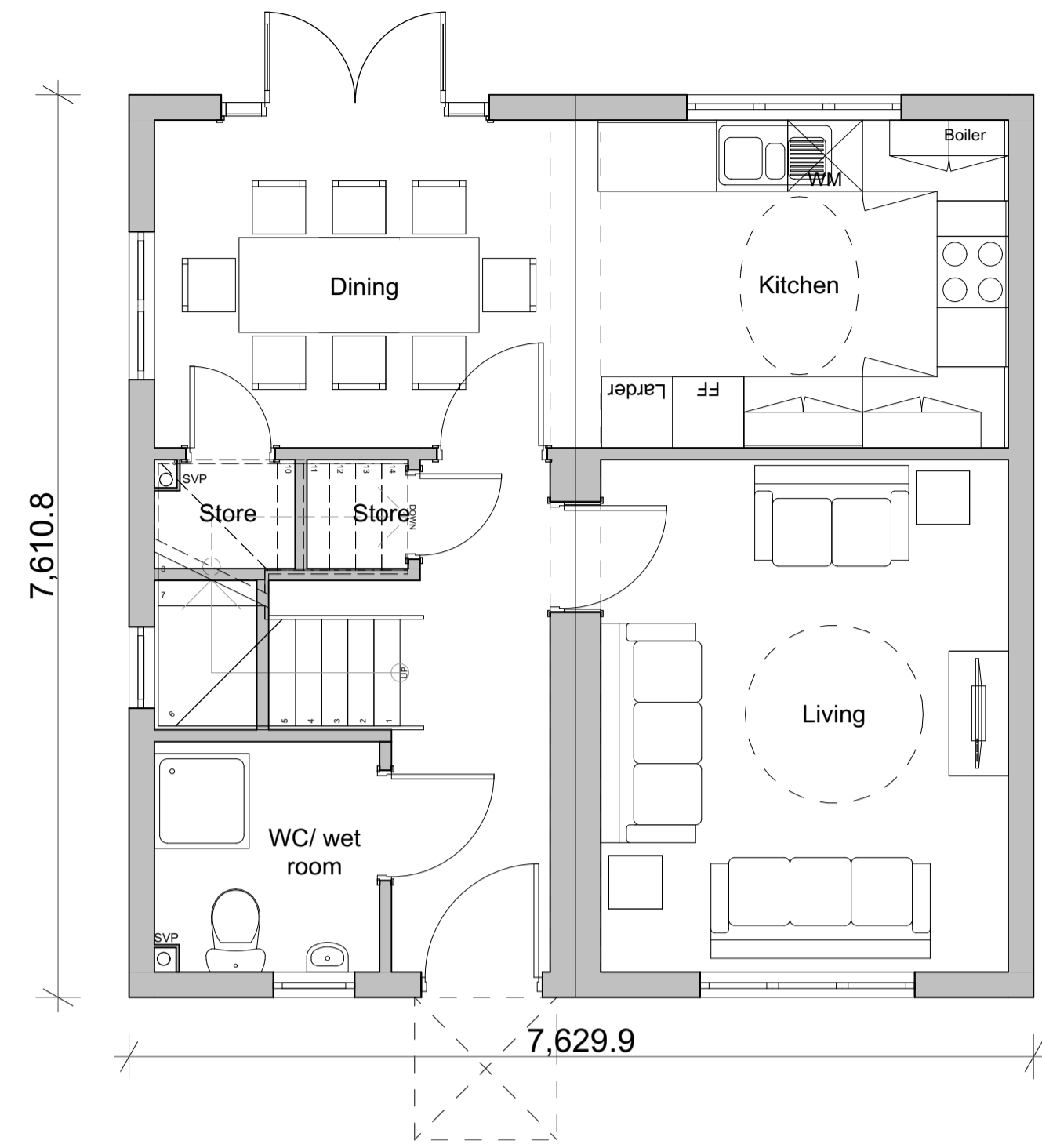
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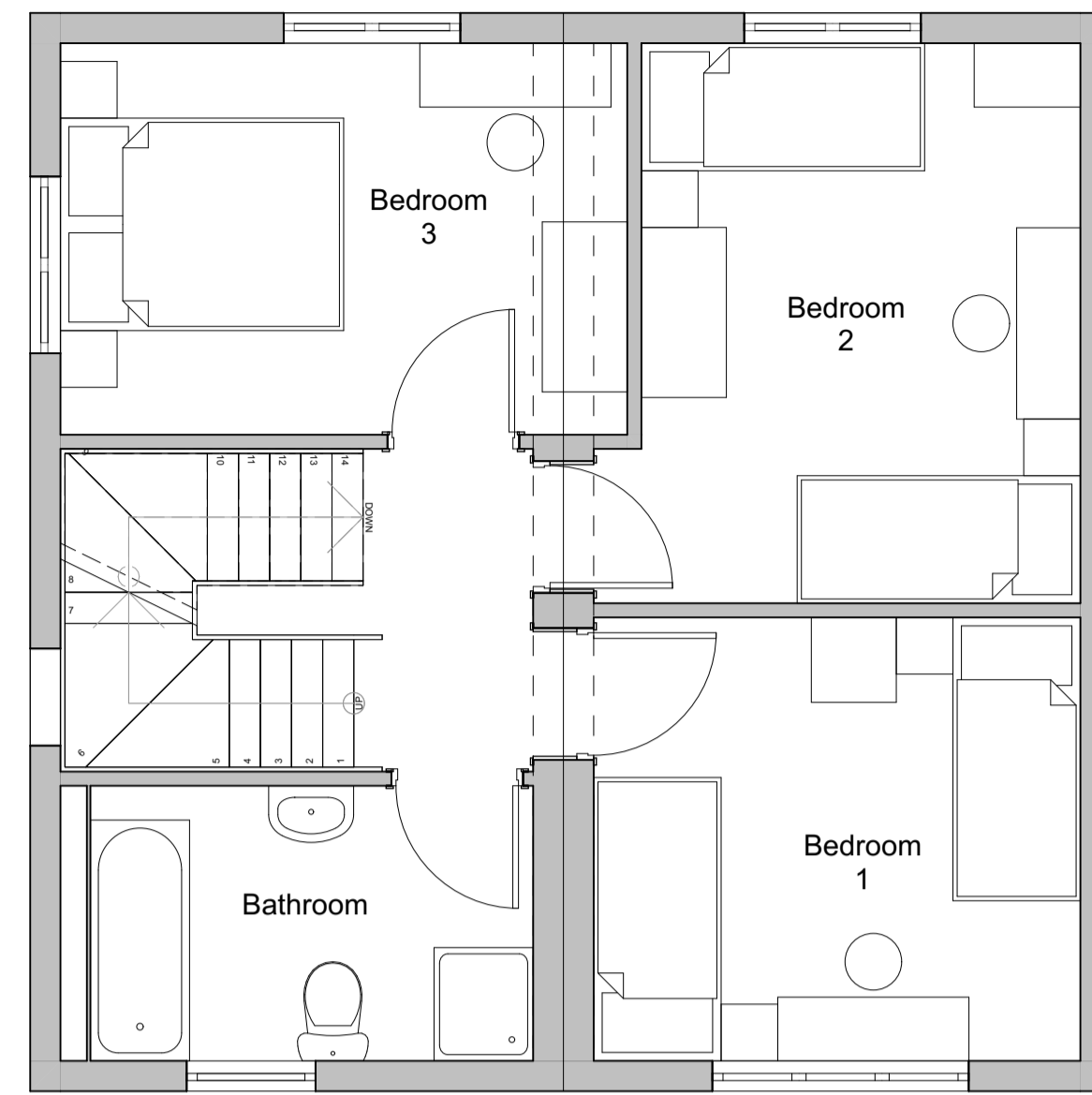
Drawing Title
 Site 229 Dillotford Avenue External Works & Boundary Treatments
 Project
 Coventry Garage Sites
 Client
 Citizen Housing
 Scales @ A3
 1:500
 First Issue Date
 October 2022
 Drawn
 EJ
 Check
 RM
 Job Number _ Dwg. No. _ Revision
 N1697_498_B_
 [3] - PLANNING
 [RIBA Stage] - Drawing Status



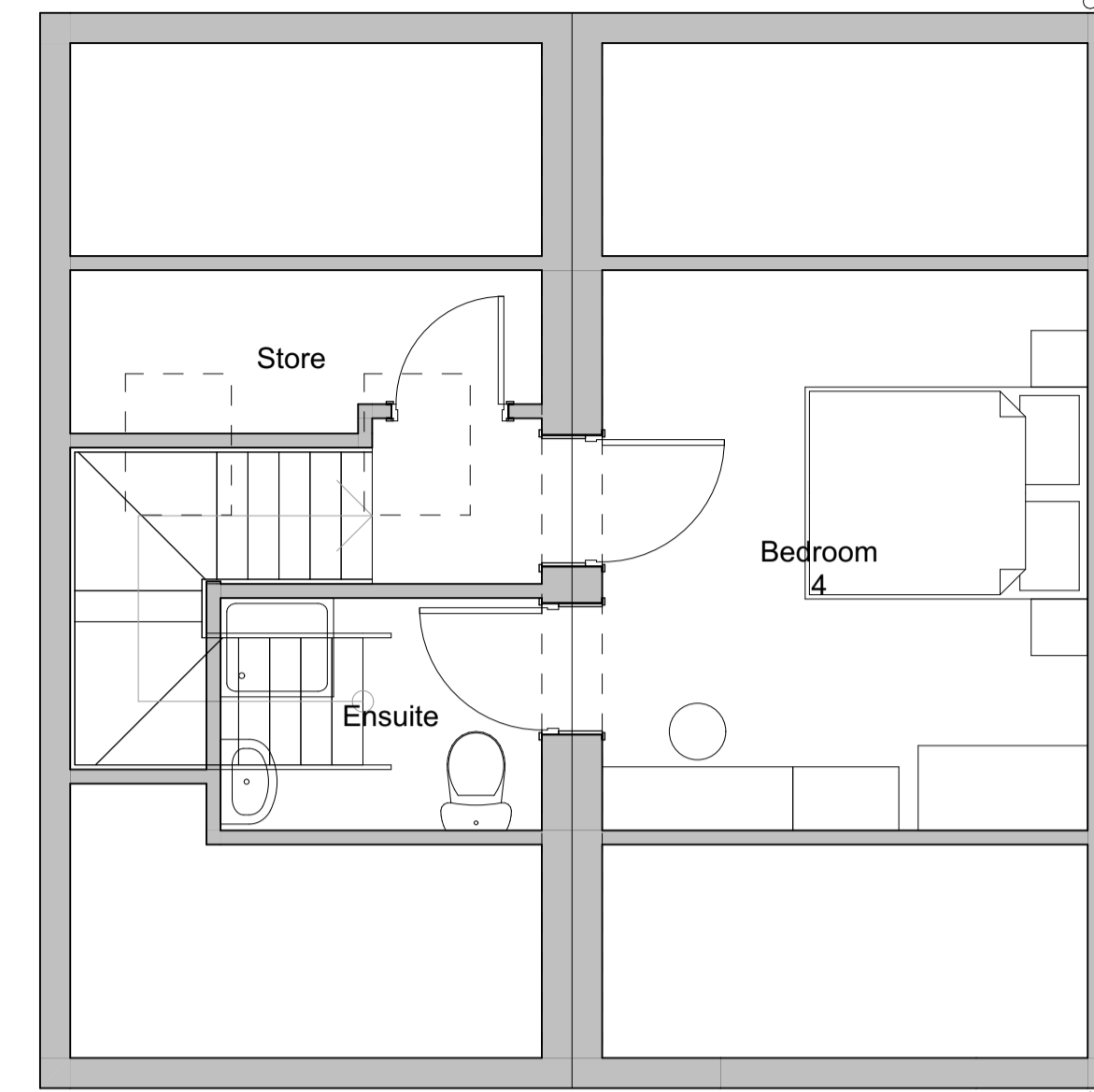
Dillotford Avenue
4B8P House
GIFA - 132.8sqm



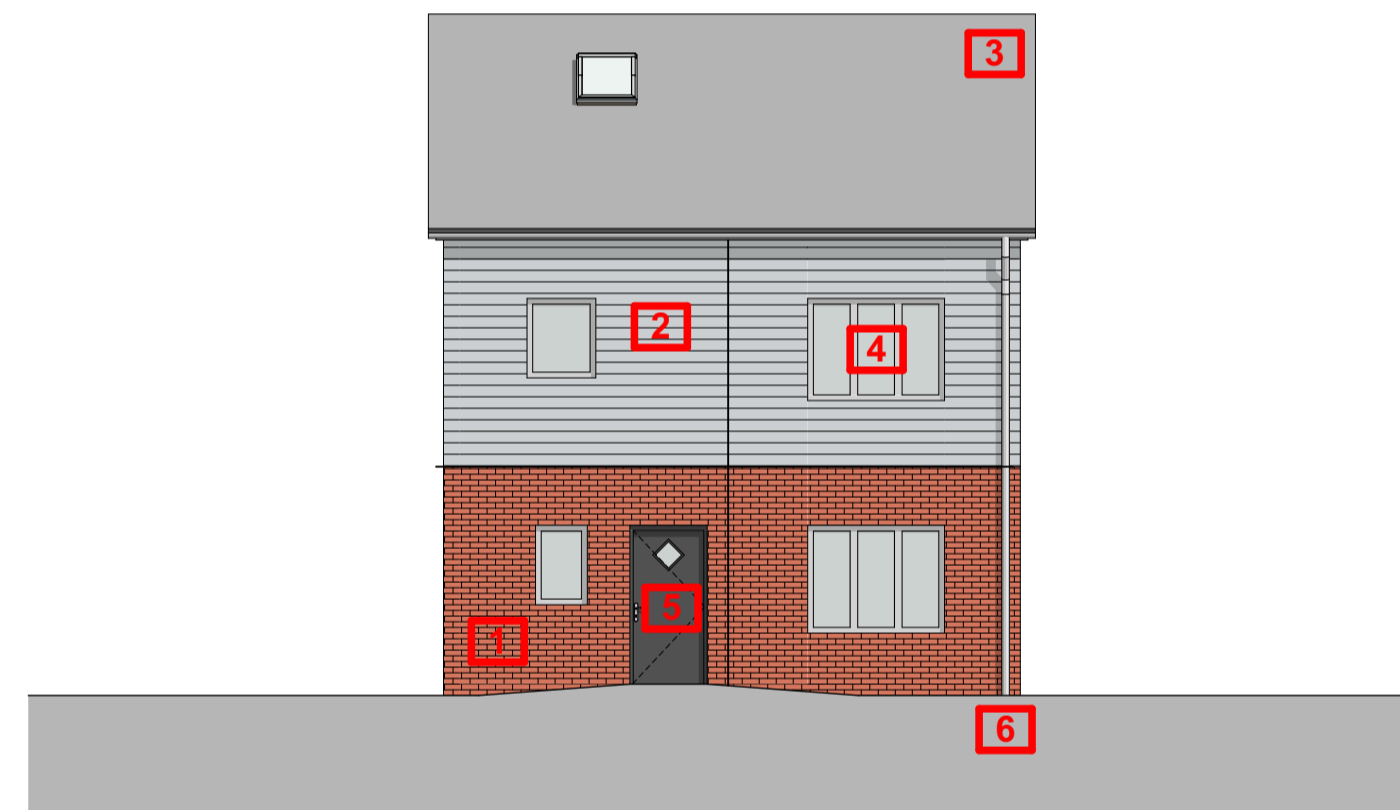
Ground floor plan
1:50



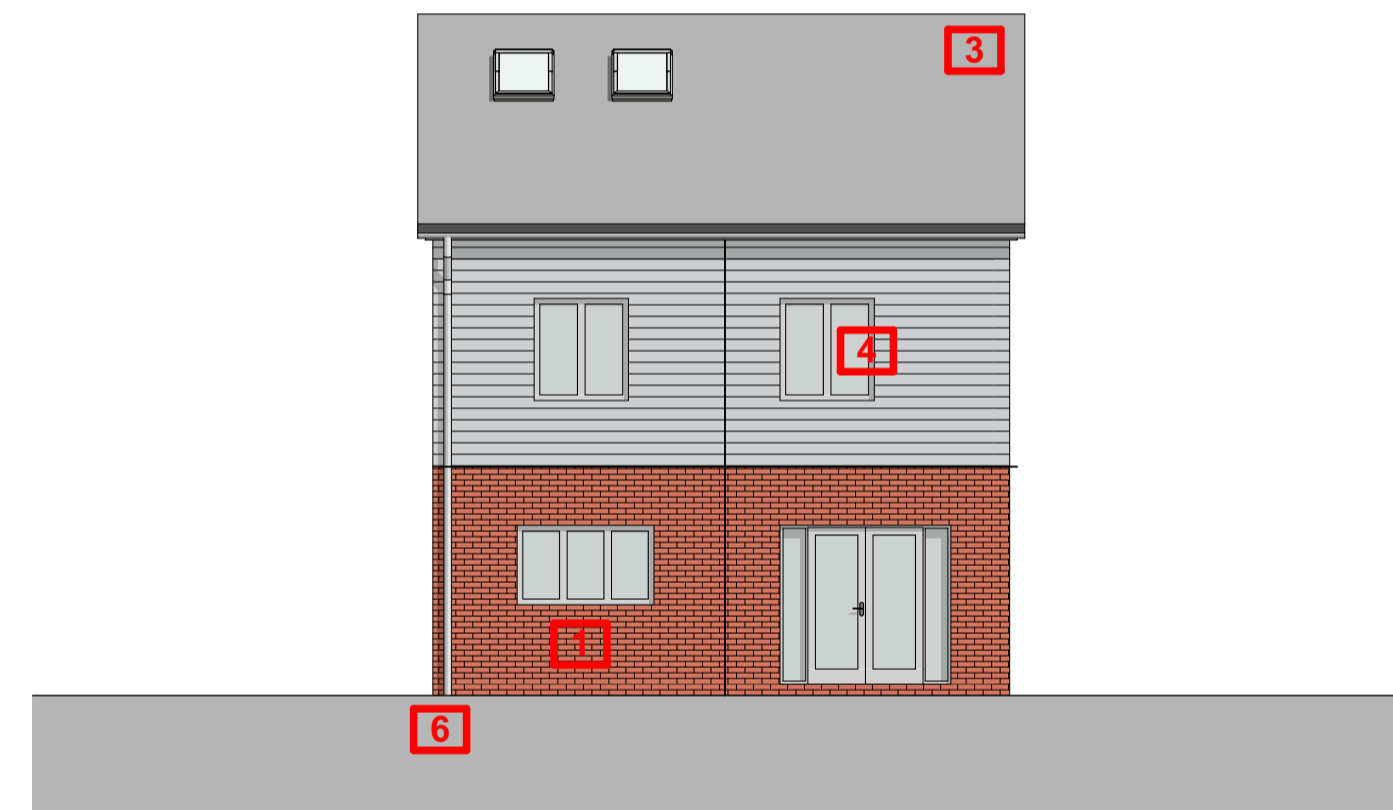
First floor plan
1:50



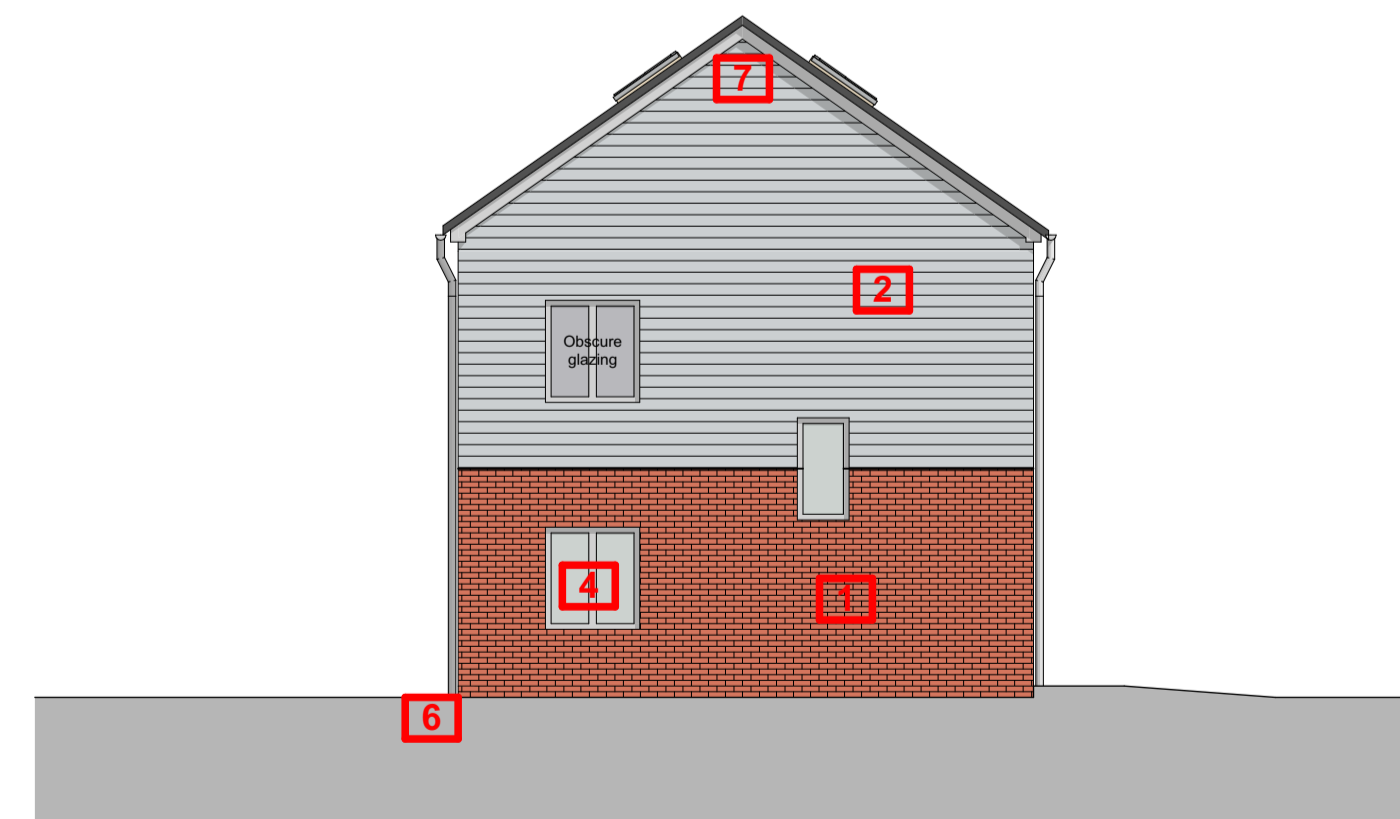
Second floor plan
1:50



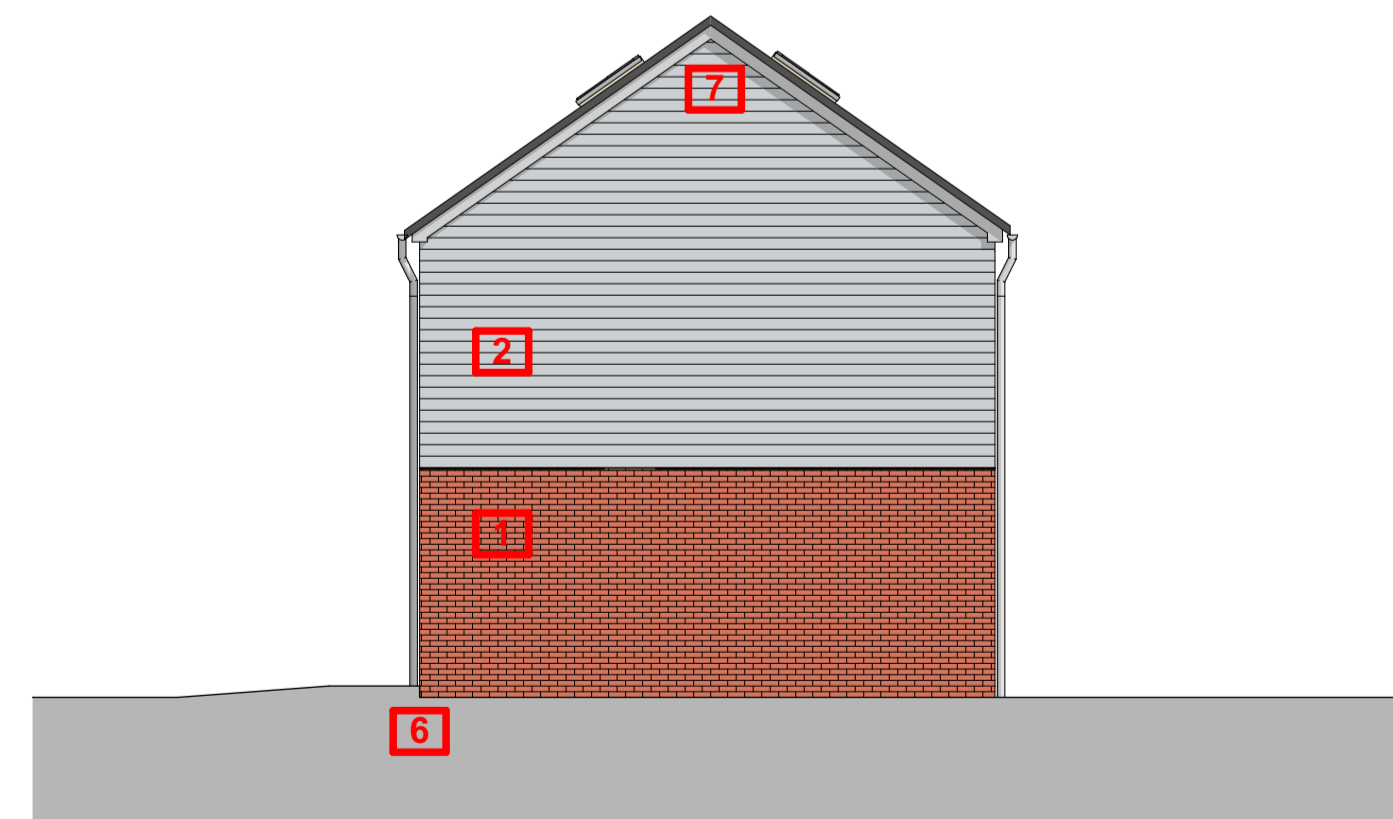
Front elevation
1:100



Rear elevation
1:100



Side elevation
1:100



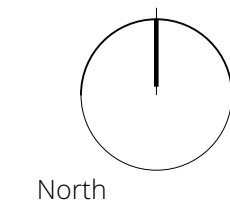
Side elevation
1:100

- 1** Brick
Red brick to match surroundings
- 2** Horizontal cladding
White composite board
- 3** Concrete roof tile
Grey/ brown to match surrounding buildings

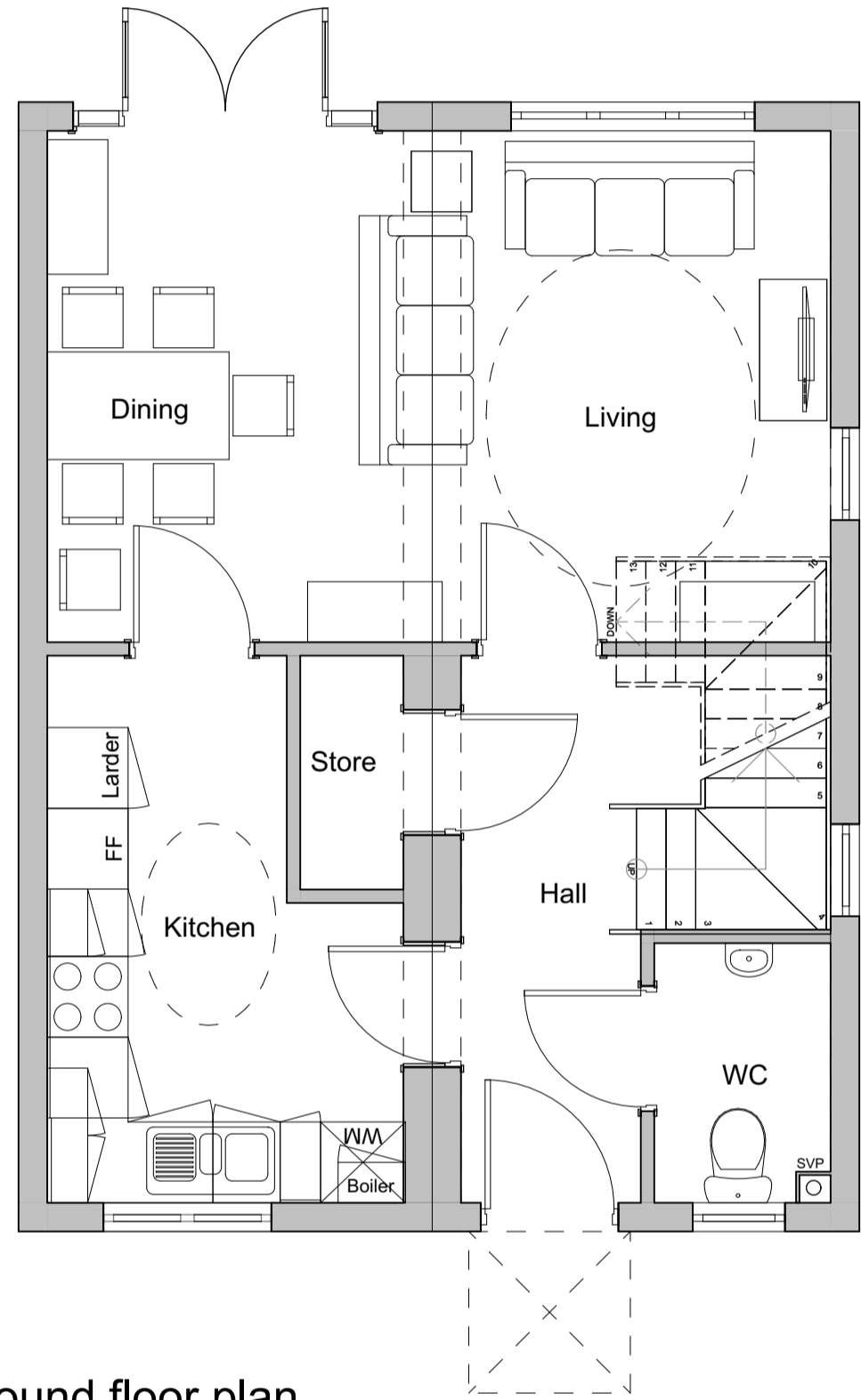
- 4** Windows
White uPVC
- 5** Composite front door
White uPVC
- 6** Rainwater goods
White uPVC

- 7** Soffit/ fascia
White uPVC

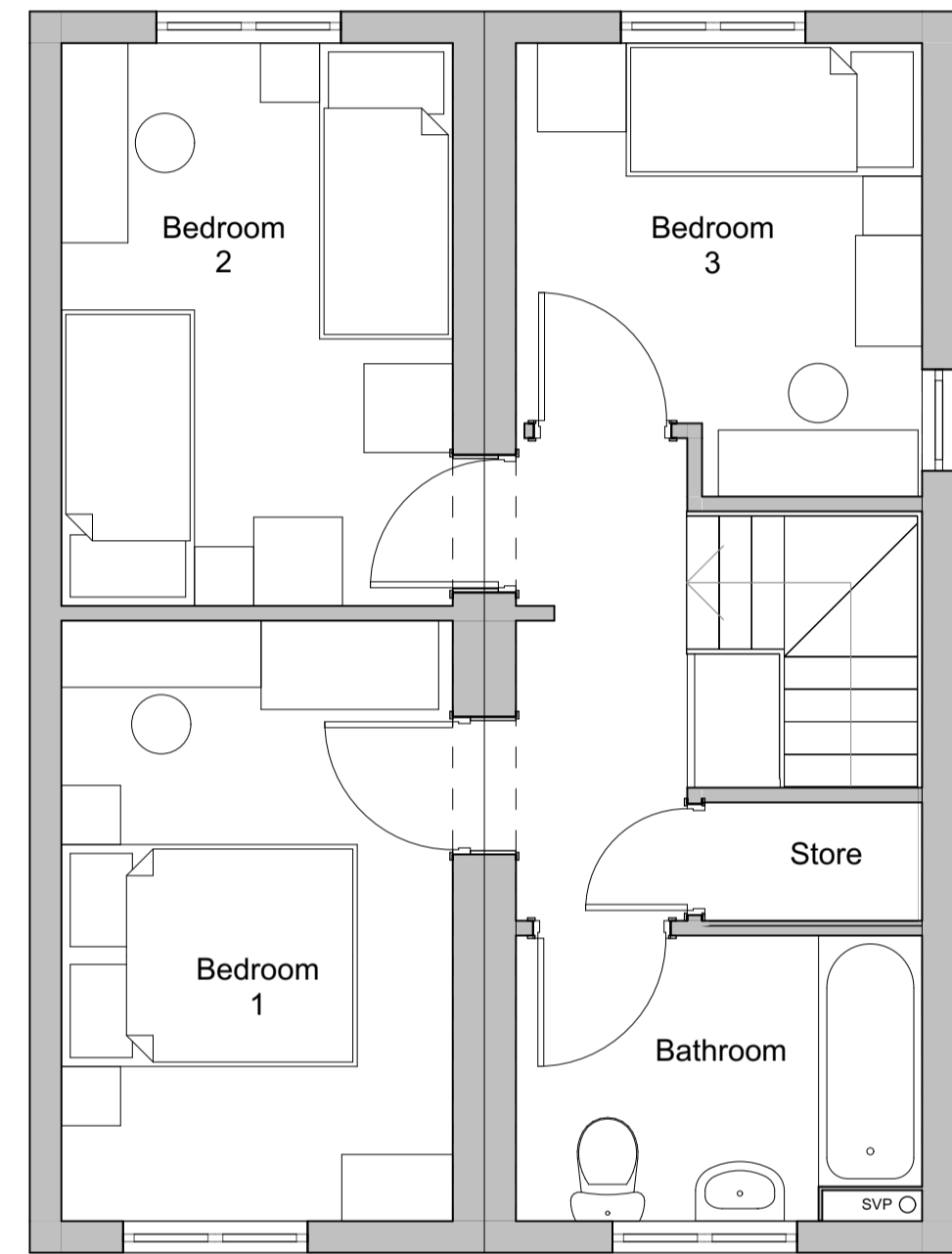
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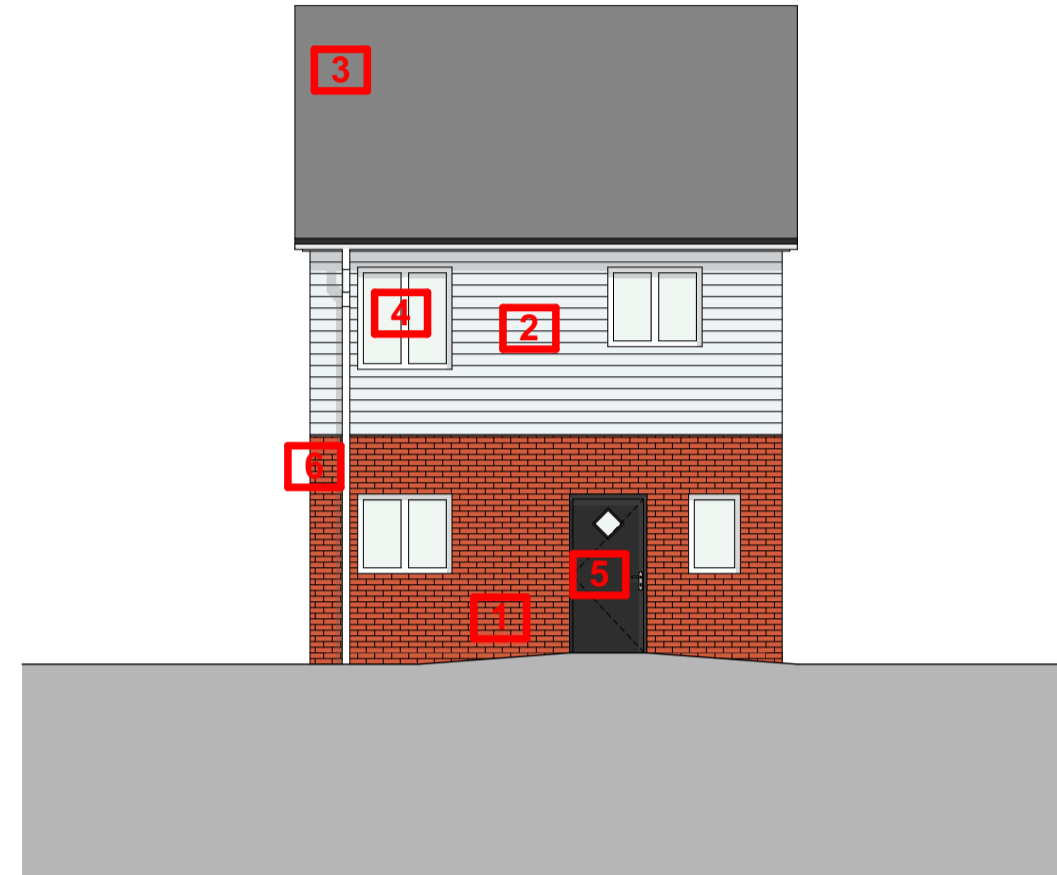
Dilloford Avenue
 3B5P House
 GIFA - 92.6sqm



Ground floor plan
 1:50



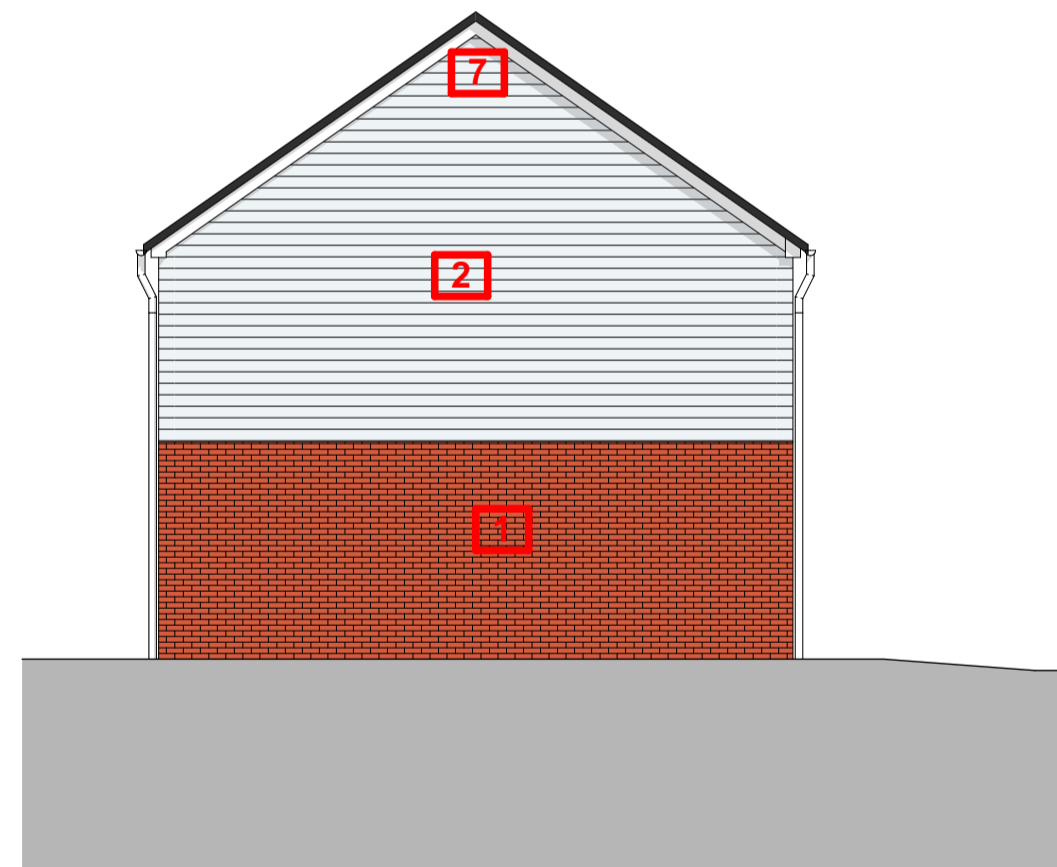
First floor plan
 1:50



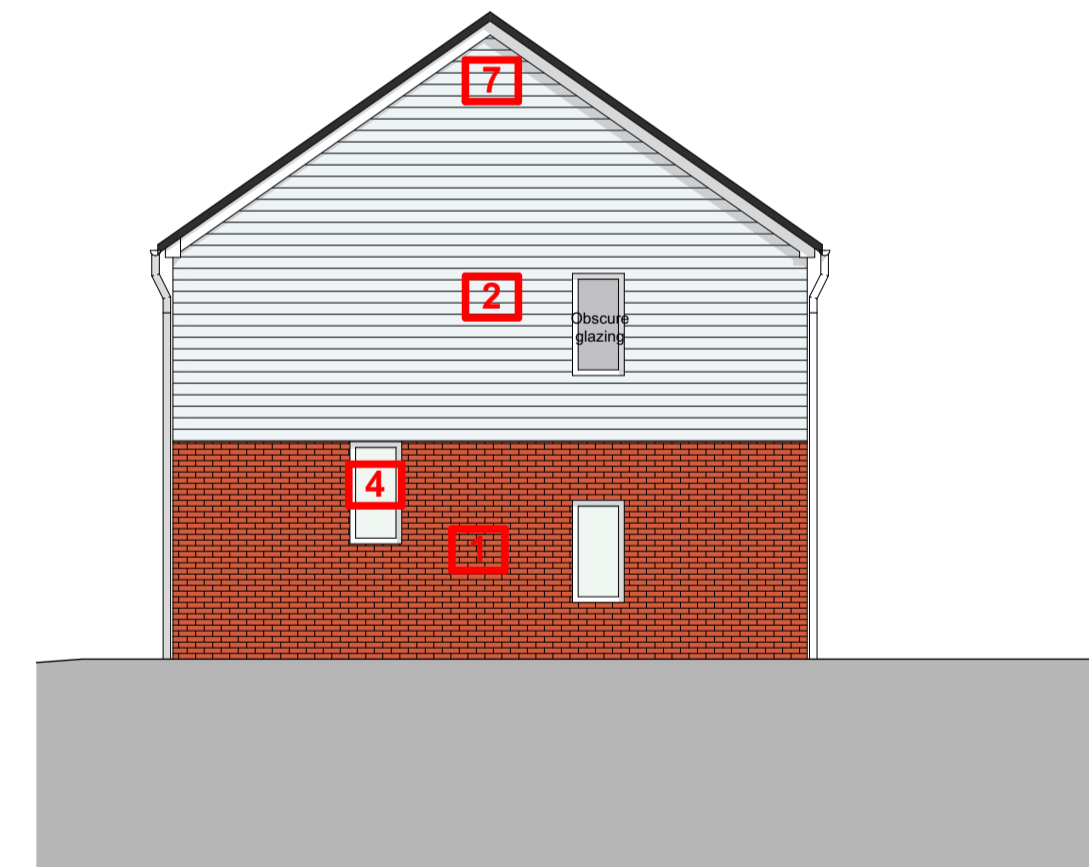
Front elevation
 1:100



Rear elevation
 1:100



Side elevation
 1:100

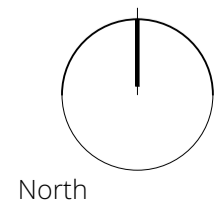


Side elevation
 1:100

Rev.	Date	Description	Drawn	Check
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Scale



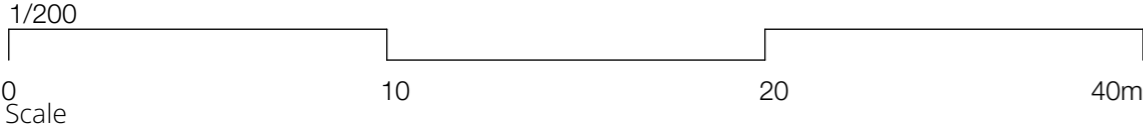
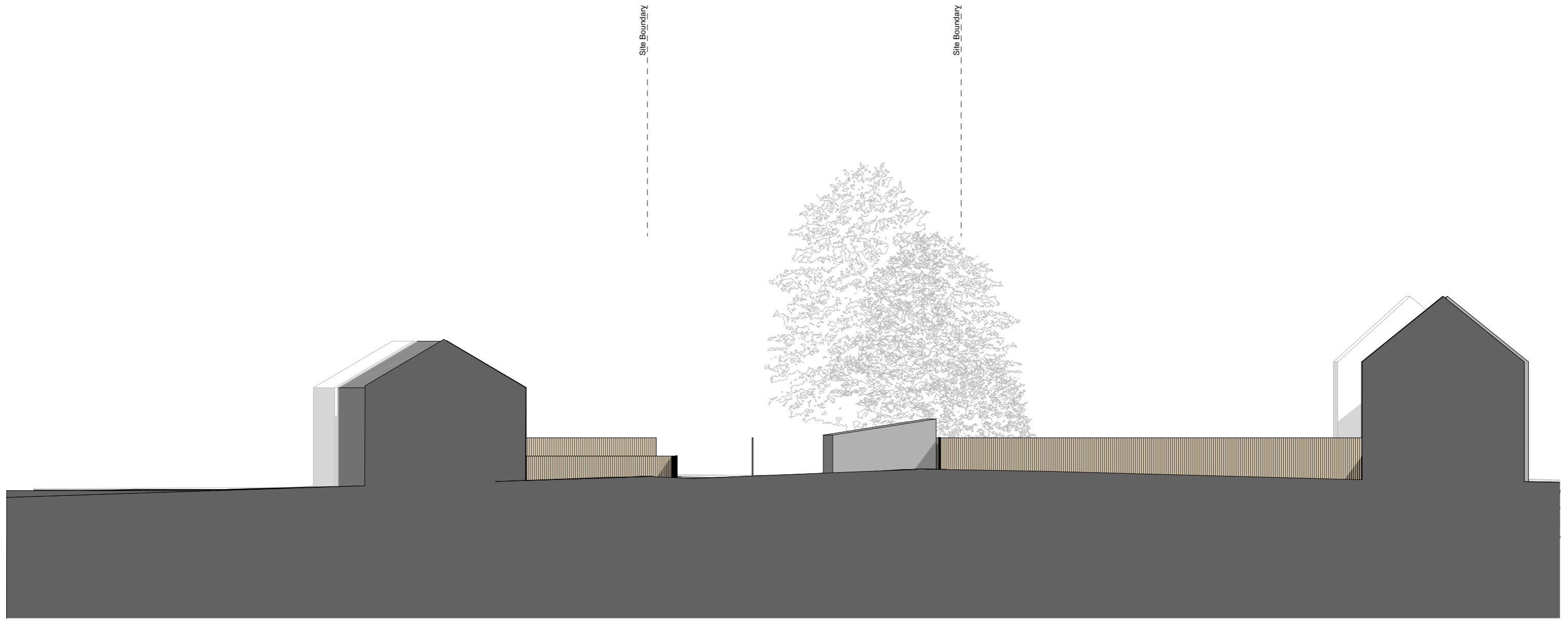
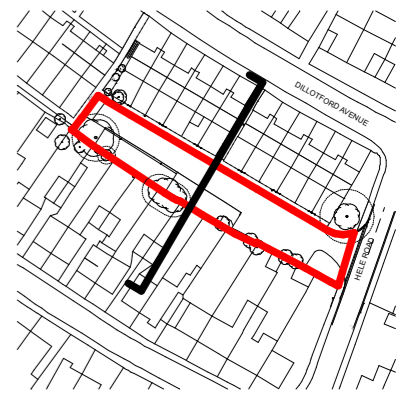
- 1** Brick
Red brick to match surroundings
- 2** Horizontal cladding
White composite board
- 3** Concrete roof tile
Grey/ brown to match surrounding buildings

- 4** Windows
White uPVC
- 5** Composite front door
White uPVC
- 6** Rainwater goods
White uPVC

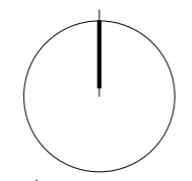
- 7** Soffit/ fascia
White uPVC

Offices at: Liverpool & Nottingham Halsall Lloyd Partnership Address 53 Forest Road East Post Code NG1 4HW Issuing Office Nottingham Website www.hlpdesign.com	Drawing Title Site 229 Dilloford Avenue 3B Housetype Project Coventry Garages Client Citizen Housing Scales @ A1 1:50 Job Number - Des. No. - Revision N1697 1412_A_ [3] - PLANNING	First Issue Date September 2023 Drawn RM Check
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Rev.	Date	Description	Drwn.	Check

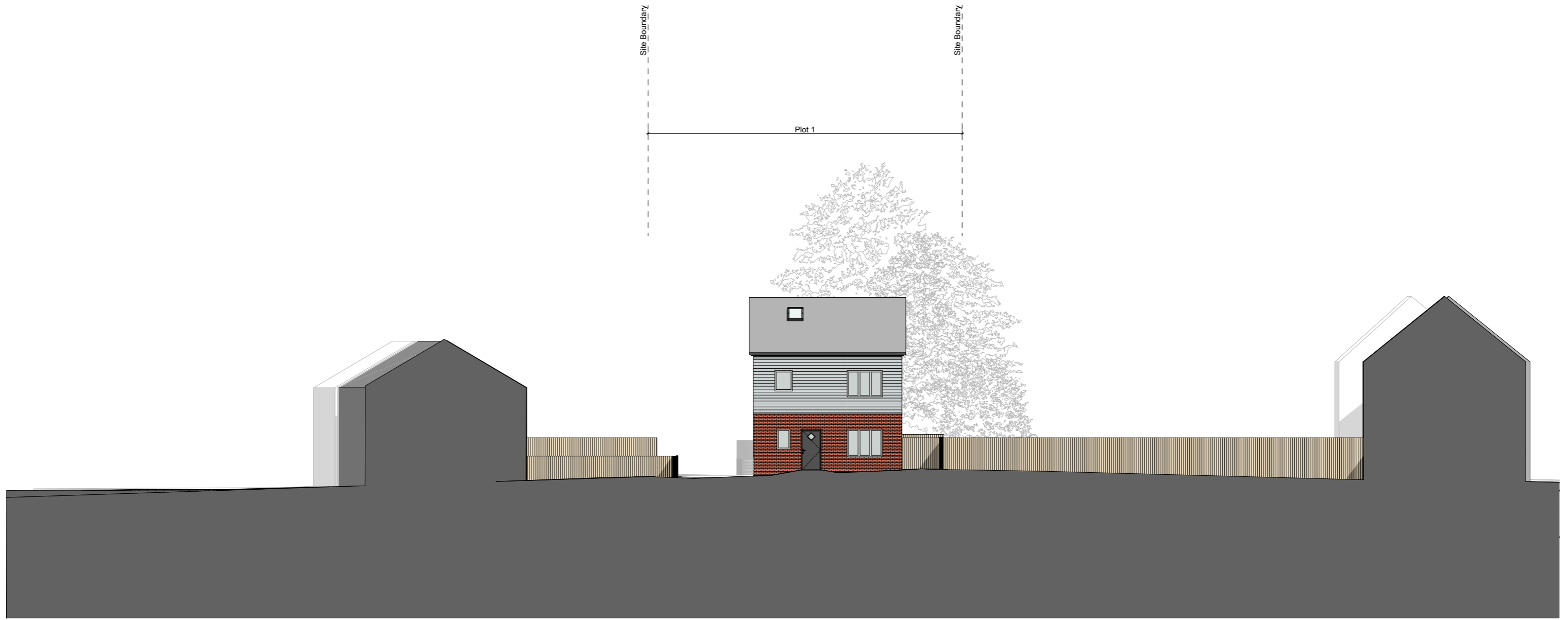
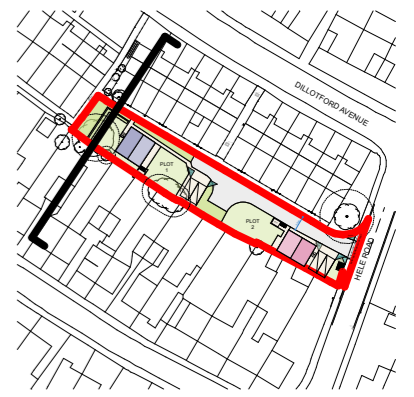


North

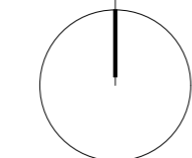
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Drawing Title
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 Project
 Coventry Garage Sites
 Client
 Citizen Housing
 Scales @ A3 First Issue Date Drawn Check
 October 2022 EJ RM
 Job Number _ Dwg. No. _ Revision [RIBA Stage] - Drawing Status
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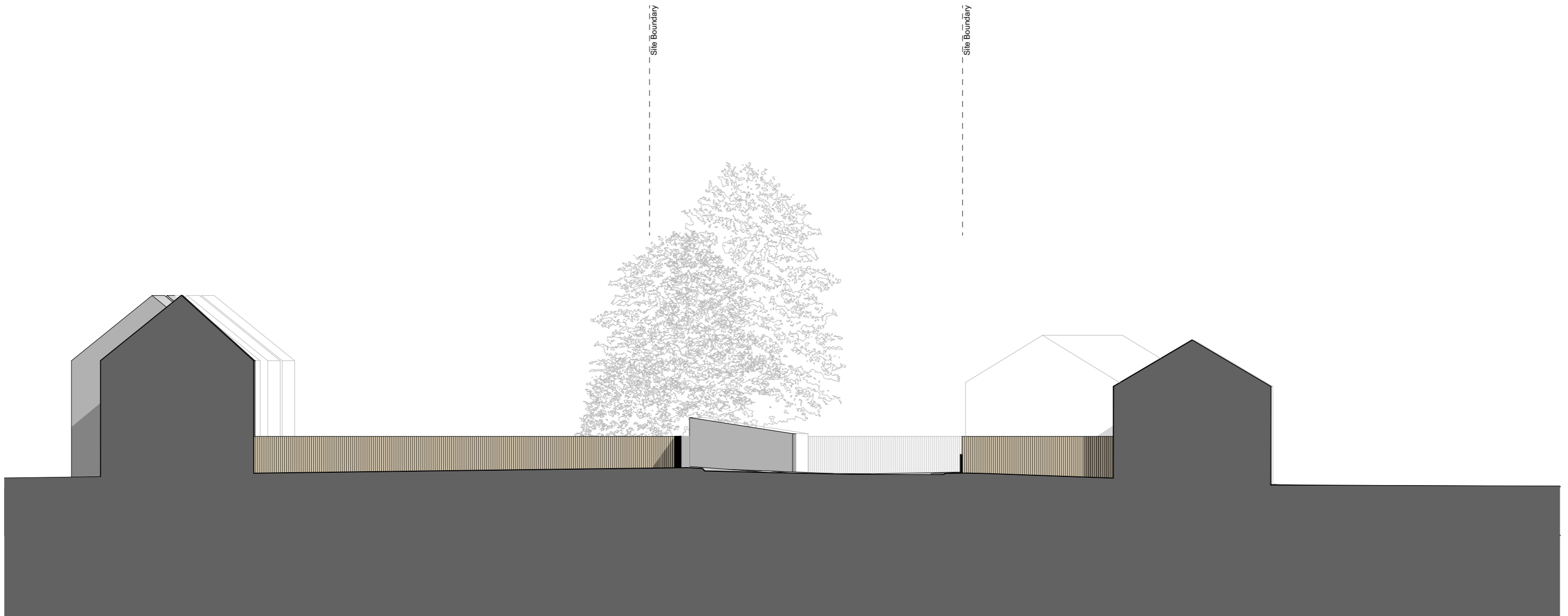
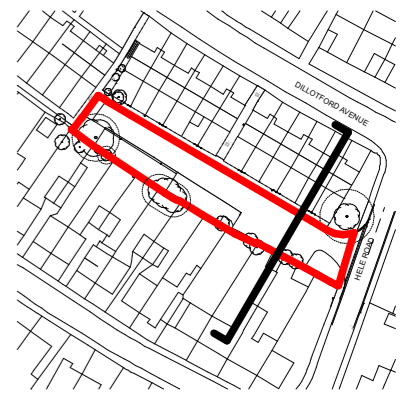
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B	20.09.23	PLANNING ISSUE. Updated following planners comments (JO email 14.09.23)	RM	
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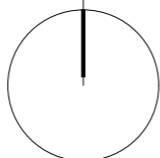
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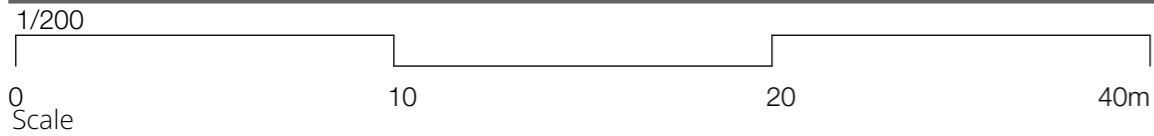
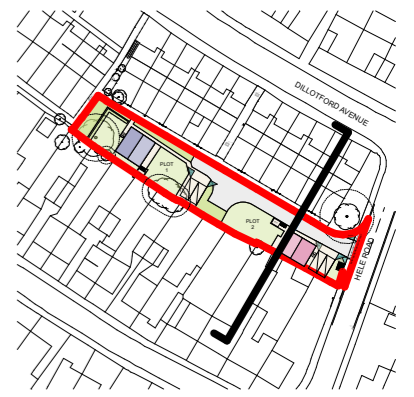
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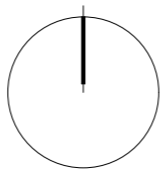
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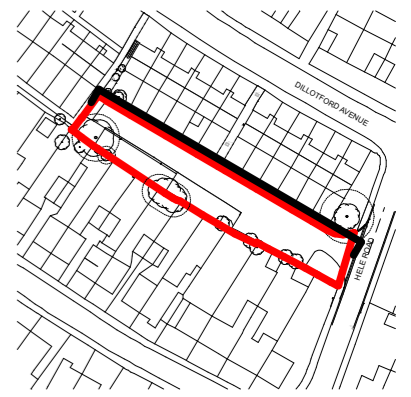


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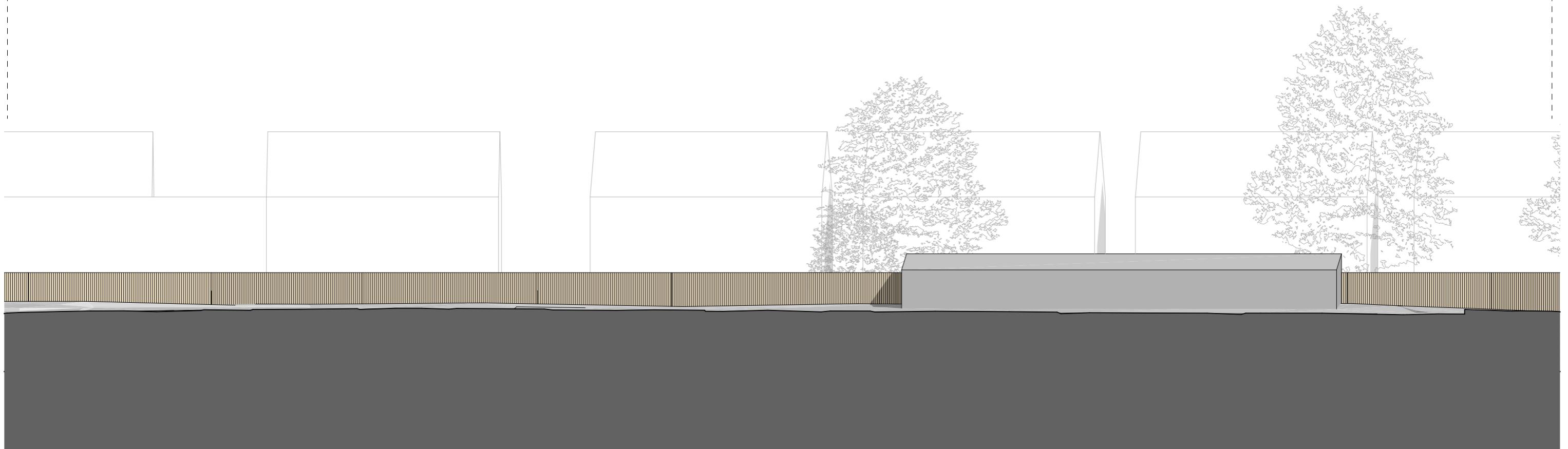
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 Client
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 Scales @ A3
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 [3] - PLANNING
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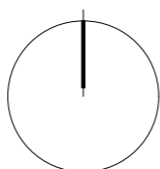


Site Boundary

Site Boundary



Page 35



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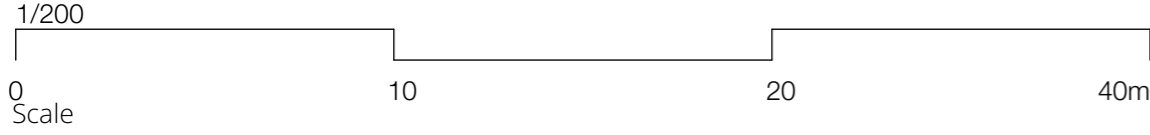
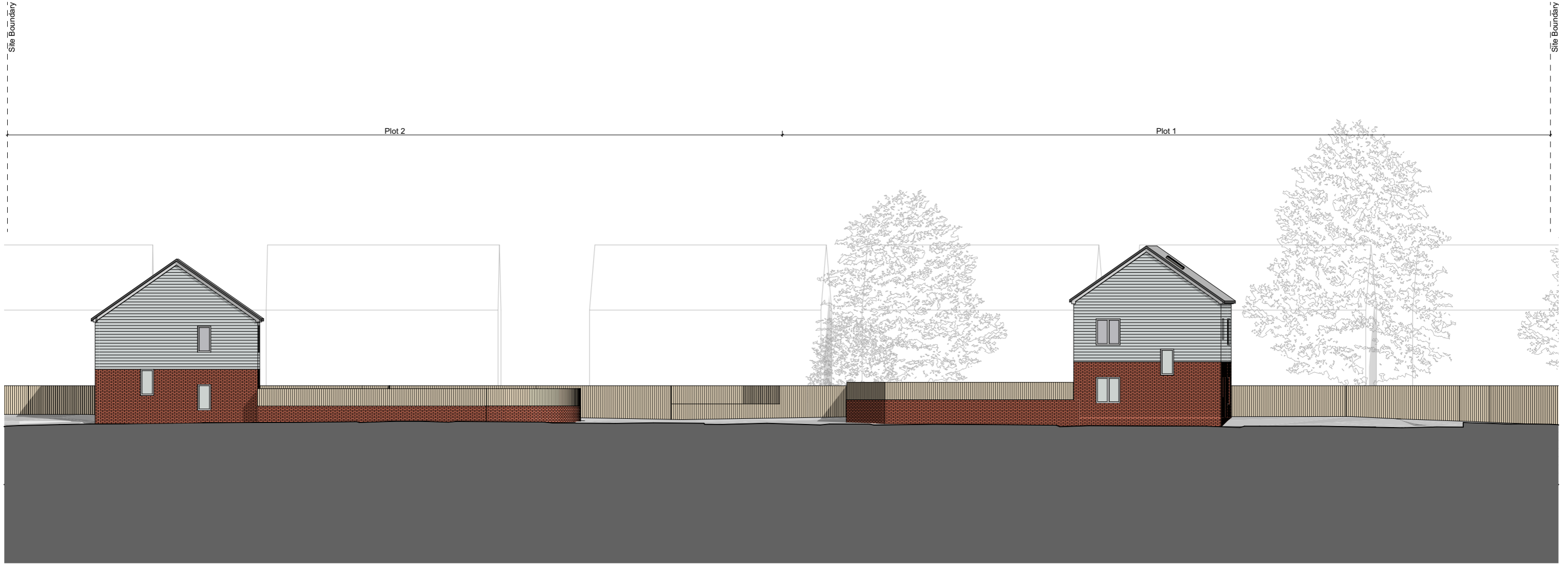
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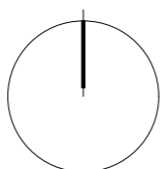


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Arboriculture

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Professional Member of Arboricultural Association

LANTRA Accredited Professional Tree Inspector

Professional Member of the Consulting Arborists Society (CAS)

Registered QATRA User.

October 2023

Dillotford Ave: HLP Drawing Number - 495

Method Statement and Tree Protection Plan for the Protection of Trees

1.0 Introduction

- 1.1 This report is a detailed Method Statement to be submitted in conjunction with an application for the construction of a new dwelling at Dillotford Ave, Coventry on an old garage site. This is a method statement explaining the measures which will be taken to protect the trees on and near to the site.
- 1.2 Trees can easily and effectively be protected during the proposed development of the site by clearly setting out the tree protection methods, construction techniques and working practices plotted on the Tree Protection Plan (TPP) in Appendix 1. This document provides this information with principles and processes that are approved and enforced by the local planning authority.

2.0 Notes on Trees affected by the building alterations within or near the RPA (Root Protection Area)

- 2.1 An assessment of the site's tree stock has been undertaken and all trees to be retained are shown on the Tree Protection Plan (TPP) drawing **AATPP01/DA**. A calculation has been made of the radius of area not to be disturbed by the construction activities to ensure the survival of these trees. This is represented by the Root Protection Area (RPA) indicated by the red circles around the retained trees on the plan. In some areas the RPA will not form a perfect circle as the plan suggests as retaining walls and other landscape features will have an effect. The fencing positions have considered these deviations where possible.
- 2.2 The RPA has been used to inform the Construction Exclusion Zone (CEZ), the area to be protected during development by using mainly fencing barriers. The areas within the CEZ are sacrosanct and can only be modified in accordance with the secondary positions indicated on the Tree Protection Plan.

3.0 Method Statement for all Construction Processes - Order of Arboricultural Works

- 3.1 **General provisions:** The Tree Protection Method Statement along with the Tree Protection Plan must be kept on-site throughout the duration of the construction and garden work and must be accessible to all workers at any time. It is mandatory for all site workers to receive information on tree conservation during their initial safety briefing.
- 3.2 Any departure from the stated approach in this method statement must be reviewed with the supervisory tree specialist or the knowledgeable site coordinator and, if required, approved by the local authority tree conservation officer.
- 3.3 **Preliminary Tree care:** While tree removal is not anticipated, it is advisable to conduct crown reduction and crown cleaning on the significant Ash tree (**T1**). Should any damage occur or further tree care recommendations arise, these can be addressed after the removal of barriers after construction.
- 3.4 Prior to commencing any tree work, trees must be inspected for any legally protected species. Disturbing bats or their roosts contravenes the Conservation of Habitats and Species Regulations, and birds during nesting season are safeguarded by the Wildlife and Countryside Act. Upon the discovery of protected species, advice should be sought from Natural England.

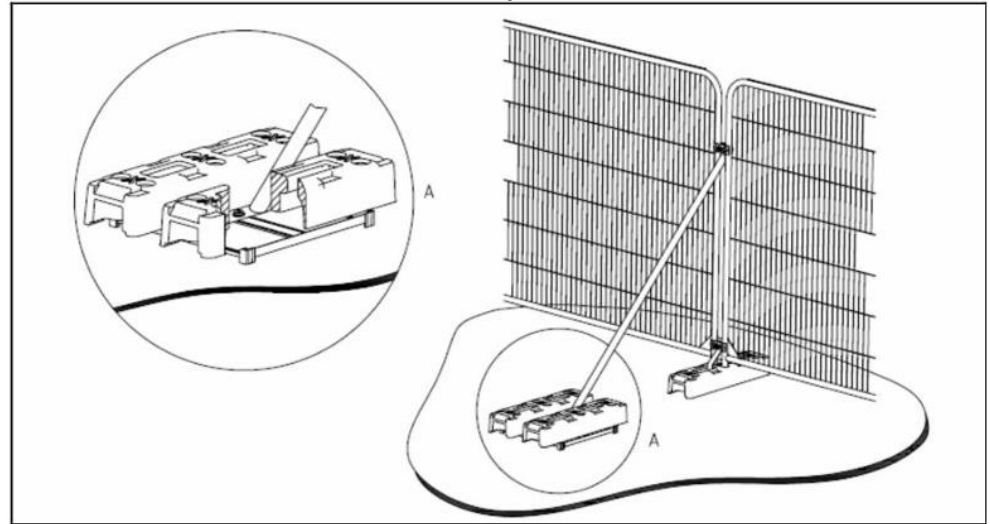
- 3.5 If tree work is required during the building or demolition phase, then all such tasks must adhere to the standards set out in **BS3998: 2010 'Tree work – recommendations'**, including any updates from more recent studies. Moreover, suitable and current insurance of an adequate level must be maintained.
- 3.6 It is advised to employ a contractor endorsed by the Arboricultural Association for any tree-related work. Such contractors are renowned for adhering to the highest industry standards. The Arboricultural Association's webpage offers information on procuring the services of a qualified contractor.
- 3.7 **Tree Protection Enclosures:** The root protection zones of all preserved trees must be undisturbed and shielded against contamination or compression throughout each phase of the work. Protection should consist chiefly of tree protection fencing and should be set up immediately after any hardstanding is taken away.
- 3.8 Installation of tree protection fencing and ground cover must follow the specifications detailed in the Tree Protection Plan, and informative signage should be placed on or near the protective measures to delineate their purpose. The below illustrations depict the required signage. **Please use correct RPA measurements shown within the Arboricultural Tree Data Section in Tree Constraints Report and below.**



3.9



Stabiliser strut mounted on block tray © British Standards Institute



When pedestrian ground protection through the Root Protection Area (RPA) is necessary, options may include:

- A single layer of scaffolding planks atop a compressible material like wood chips or sharp sand (100mm depth for foot traffic or 150mm for light machinery) laid over a geotextile fabric.
- Scaffold planks arranged on a driven scaffold framework.
- Purpose-built ground protection mats as an alternative to the above; refer to section seven for examples.

3.10 The areas secured by barriers or ground protection will be designated as construction exclusion zones (CEZ). The following activities are forbidden within these zones:

- Vehicle entry.
- Regular foot traffic unless adequately protected.
- Storage of building materials.
- Handling or storage of hazardous substances.
- Alterations to the ground elevation.

3.11 Careful consideration is required to prevent the storage and handling of dangerous chemicals near trees. These substances include, but are not limited to, fuels, oils, builder's sand with high salt content, and cement. Mixing of cement should only occur in areas where runoff cannot reach root protection zones, and measures should be implemented to avoid refuelling or cement handling in areas earmarked for future planting.

- 3.12 Contractor Accommodations: Due to limited space, a compact and appropriate area must be agreed upon for contractor facilities, parking, and operative amenities. These amenities should be situated outside the root protection zones of any conserved trees or on existing hard surfaces. Measures should also be adopted to prevent damage to tree canopies from exhaust gases or heat from generators or other equipment.
- 3.13 Reinstating pre-existing surfaces and outdated garage foundations within root protection areas: The current hardstanding should provide a protective base for construction traffic until its removal. No vehicle crossing is allowed over the root protection area from when the existing surface is lifted until landscaping begins. The protective fencing must remain in place throughout.
- 3.14 The removal of existing surfaces or old garage foundations should be performed carefully, utilising controlled hand tools such as pneumatic drills, avoiding the use of heavy plant machinery. All rubble should be piled outside the root protection zone.
- 3.15 Presently, all trees are adjacent to existing hard surfaces. Any removal and replacement of these surfaces must be done cautiously and with due regard for the roots, even if outside the RPA, with additional fencing applied as required. (Refer to plan)
- 3.16 Again, heavy machinery should be operated from beyond the root protection zone. A signal person must be present to indicate any low-hanging branches or unseen shallow roots to the machine operator.
- 3.17 **Utilities:** While service details are not specified, all tree RPAs will be considered during the design phase.
- 3.18 **Landscaping within root protection zones:** The introduction of new landscaping within the root protection zones of remaining trees is to be the concluding step of development. The exact landscaping plans are to be determined but might include laying new turf and planting trees/shrubs within the root protection areas.
- 3.19 When laying new turf within the root protection zones, new topsoil will be brought in. The current soil may be gently aerated by hand, but the use of mechanical tillers is forbidden. The topsoil depth increase should not exceed 100mm to avoid root suffocation. Soil should not be stacked against tree trunks or their large roots. When moving soil or other materials across a root protection area, pathways of scaffolding boards should be laid to minimize soil compaction, especially under wet conditions.
- 3.20 All planting holes within root protection zones must be dug by hand (trench planting is not permitted), ensuring that no roots over 25mm in diameter are severed or harmed.
- 3.21 Moreover, an ongoing site monitoring program conducted by the appointed Arboricultural consultant should be established in agreement with the Local Authority Arboricultural Officer where deemed necessary. The nature and schedule of this site monitoring are outlined in section 4 of this document.

- 3.22 In instances where significant root growth is disturbed during construction activities not covered by this report, operations should halt until consultation with the project arborist. Roots over 25mm in diameter or a dense mat of fibrous roots are deemed significant. It's vital to remember that while root protection zones reflect best practice, actual root growth may vary due to various factors and might not align with standard projections.
- 3.23 Should any tree damage occur accidentally during the construction process; the project arborist must be contacted to evaluate the consequences and to determine corrective actions. Damage types could include chemical spills, physical harm to trees above or below ground, fire, or other unexpected events.
- 3.24 To ensure minimal impact on trees onsite, implement the following measures:
- a) Manage and manoeuvre equipment and machinery with large loads or extensions to avoid interaction with tree canopies, using a spotter when operating near the RPA.
 - b) Prevent disposal of materials like concrete waste or oils within 10 meters of any tree trunk or on the construction site.
 - c) Adjust land gradients to avert the flow of harmful materials towards trees.
 - d) Do not attach any signs, cables, or utilities to any tree.
- 3.25 All project participants should acquaint themselves with the relevant clauses from the British Standard BS 5837:2012 concerning trees in relation to construction.
- 3.26 **Further notes on Garage Demolition: Prior to Demolition Method Statement Plan:** This should reference the TPP, indicating how demolition will be carried out without affecting the tree protection zones, highlighting how the demolition will be conducted with tree protection in mind.

During Demolition: Protective Measures: Install physical barriers around trees as per the TPP to with movability to secondary placement. The work should be supervised by the arboriculturist or a qualified site manager to ensure compliance with the TPP. Demolition should be carried out in a manner that avoids compaction of the soil around the tree roots and does not disturb the root zones. Heavy machinery should be kept away from the protected root zones. Overhanging Branches: Care should be taken to ensure that any overhanging branches are not damaged during the demolition process. If pruning is necessary, it should be carried out by a professional following best arboricultural practices.

Post-Demolition: Site Clearance: All debris should be removed carefully, avoiding damage to the trees. De-compaction: If any compaction has occurred, measures may need to be taken to de-compact the soil within the RPAs. **Monitoring and Maintenance:** Trees should be monitored post-demolition for signs of stress or damage and appropriate maintenance actions taken as necessary.

4.0 Site monitoring and supervision

4.1 Prior to the commencement of any works or machinery and materials arriving on site a pre-commencement site meeting involving the project arborist, landowner or agent, site manager, contractors and engineer (as appropriate) will be held to ensure that all aspects of the arboricultural method statement and tree protection are understood and for all parties to swap contact details.

Name	Position	Contact Details
Rebecca Peace	Arboriculturalist Consultant	07810063688 rebeccapeace@hotmail.com

4.2 In accordance with section 6.3 of BS5837: 2012, the site will be monitored to ensure the arboricultural parts of the planning permission are implemented and maintained throughout the development. This covers the installation of protective fencing and/or temporary ground protection and specialist construction techniques in proximity of the trees.

4.3 The monitoring and supervision will be auditable. Results will be recorded and available for the Local Planning Authority and client.

Site:		Client Reference:	
Date of Visit:		Consultant Name:	
Reason for Inspection:			
Stage of Development Activities:			
Previously Noted Issues:			
Trees Affected	Observations	Action Taken and Date for Completion	Date

- 4.5 The site arboriculturalist and site supervisor will inspect the tree protection at pre-determined and agreed time intervals, including:
- a) After the protective fencing has been installed, but before development commences.
 - b) At least once a month during development.
 - c) Once all development work is completed and all construction traffic is off site and the tree protection fence has been removed.
- 4.6 Any defects requiring remediation or rectification will be notified to the site foreman/manager and the client. Should protective fencing become damaged as to impair its function as a protective barrier, all works will cease in the vicinity of the damage until the fence has been repaired.

5.0 Legal Constraints

- 5.1 All of the trees on site are not within a conservation area and there are no Tree Preservation Orders on site. The local authority is Coventry City council.
- 5.2 **Statutory wildlife obligations:** The Wildlife and Countryside Act 1981 as amended by the Countryside and The Habitat Regulations 2012 provides statutory protection to birds, bats and other species that inhabit trees. All tree work operations are covered by these provisions and advice from an ecologist should be obtained before undertaking any works that might constitute an offence.

6.0 Conclusions

- 6.1 All of the trees are bordering the site and G1 is on third party land and can be easily protected with mainly fencing but ground cover can also be used if necessary. Removal of the existing tarmac can be done after construction but before landscaping to minimise any root damage.
- 6.2 The Local Authority require this Method statement report to show that care and diligence will be taken before, during and after the demolition of the garage and new construction in accordance with BS5837:2012 (*Trees in relation to design, demolition and construction – Recommendations*). **Please use correct RPA measurements shown within the Arboricultural Tree Data Section in Tree Constraints Report and below.**
- 6.3 All plant and machinery movement, storing of materials and heavy loads must not impact into the RPA of any retained trees. This must be addressed before any construction processes takes place.

6.4 Without proactive tree protection, this project could be damaging to the trees on site. Bearing in mind that these trees are important to the local landscape it is paramount that all points above are adhered to. With this and in conjunction with the active and on-going engagement of an arboriculturist and/or a well-informed site manager, the trees to be retained on site can be adequately protected during the project and damaged kept to a minimum.

7.0 Further Reading

General

BS3998:2010 - Tree Work - Recommendations. BSI British Standards, London.

BS5837:2012 - Trees in Relation to Design, Demolition and Construction – Recommendations. BSI, London.

Installation and Maintenance of Utility Apparatus in Proximity to Trees (Issue 2) – Operatives Handbook.

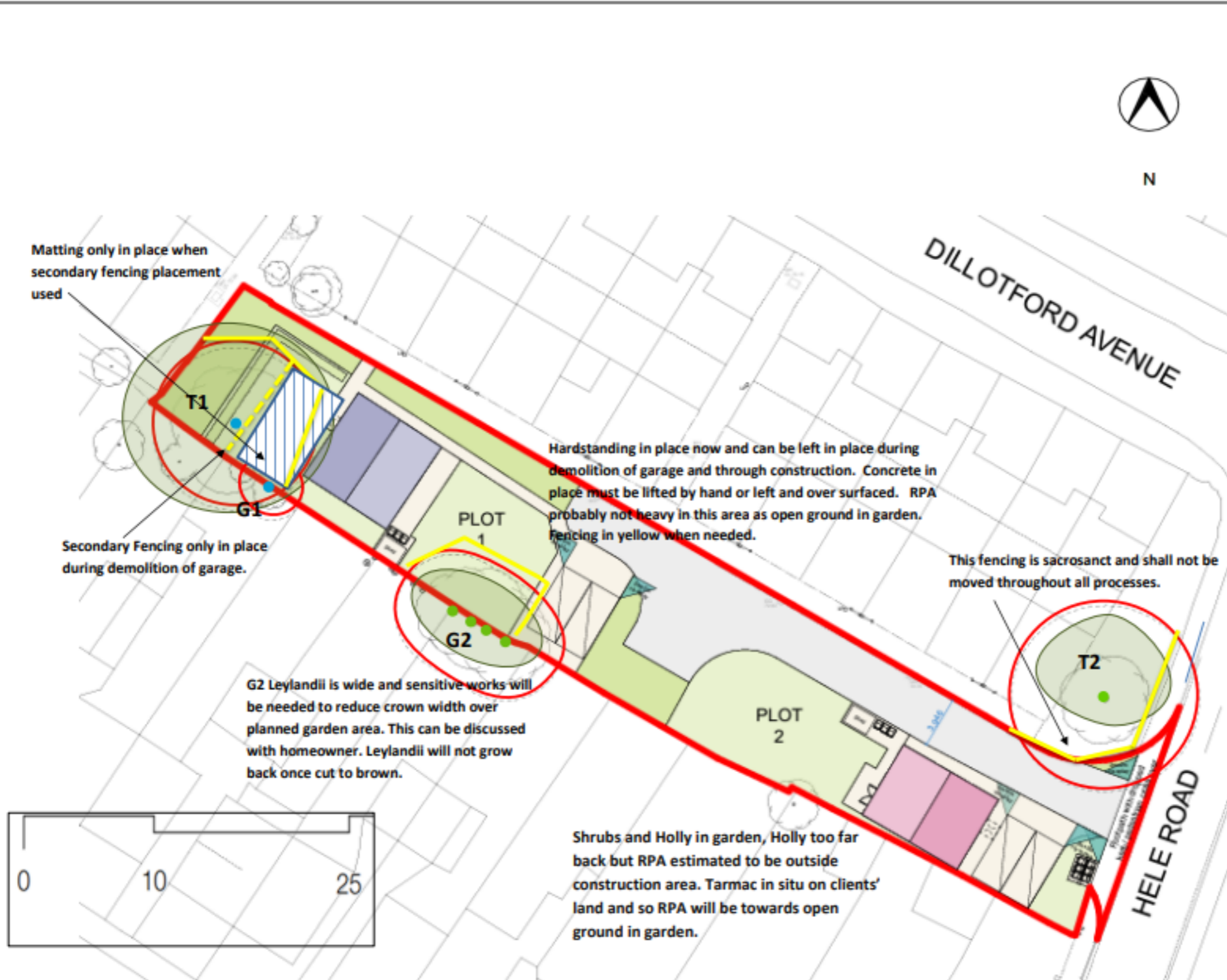
<https://www.gov.uk/guidance/developers-get-environmental-advice-on-your-planning-proposals>

Tree Protection

<https://ecogrid.co.uk/popular-uses/tree-root-protection/>

<http://www.geosyn.co.uk/product/cellweb-tree-root-protection>

Appendix 1: Tree Protection Plan



Rebecca Peace

Arboriculture

Tree Protection Plan
AATPP01/DA

Dillotford Ave CV3 5JR
DWG No. 495

KEY:

Tree Data as accurate on site at time of survey.

- The RPA delineates the minimum rooting area required to enable tree retention.
- RPA denotes Root protection needed.

RPA: Crown Spread:

Tree Protection Fence Line:

Secondary Fence Line:

Ground Protection Matting:

Surveyed trees have been assigned a category in accordance with Table 1 of BS 5837:2012 'Trees in Relation to Design, Demolition and Construction'.

The category is indicated by the colour of the central tree point on the plan and in Tree Data.

The categories are as follows:

Category 'A' - Tree of high quality and/or value - Green Centre

Category 'B' - Tree of moderate quality and/or value - Blue Centre

Scale: Approx. Scale. Measurements taken on site

Drawn: R. Peace Date: 27th October 2023

Drawing No: AATPP01/DA

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Appendix 2: Tree Data – with RPA measurements

Google Map Tree Position	Tree No.	Common name and Latin Name	Height (m)	DBH (cm)	RPA Calculation (m)	CS North (m)	CS East (m)	CS South (m)	CS West (m)	Height of ground clearance (m)	Age Class	Physiological Condition/ Works	Structural Condition	Category Grading	Notes/ Constraints/ AIA
Tree Position	T1	Ash <i>Fraxinus excelsior</i>	16	53	6.3 Measurement of distance to Tree Protection fencing from centre of tree.	6	6	6	6	3	Mature	Fair, Poor	Fair but will need possible crown reduction before works proceed access will be impeded	B (20-40)	Ash dieback throughout which mean is will lose smaller diameter deadwood. This tree <i>could</i> recover as in sheltered position.
Tree Position	G1	Leylandii <i>Cupressus x leylandii</i>	10	20	2.4	2	2	2	2	0	Early Mature	Fair	Fair. See plan notes Plus AMS to describe removal of garages whilst safely retaining site trees below	B (20-40)	Screening trees on third party land
Tree Position	G2	Leylandii <i>Cupressus x leylandii</i>	15	38	4.5	2	2	2	2	0	Mature	Fair	Fair	A (40+)	Third party trees All topped and so shading not a problem. Over garden area.
Tree Position	T2	Cherry <i>Prunus avium</i>	10	60	7.2	4	4	4	4	2	Mature	Good	Good	A (40+)	Good tree and healthy foliage which is rare for a cherry. Large trunk, hence large RPA



Rebecca Peace

Arboriculture

Tree Protection Plan
AATPP01/DA

Dilloxford Ave CV3 5JR
DWG No. 495

KEY:

Tree Data as accurate on site at time of survey.

- The RPA delineates the minimum rooting area required to enable tree retention.
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Secondary Fence Line:

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Scale: Approx. Scale. Measurements taken on site

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Drawing No: AATPP01/DA

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N

DILLOTFORD AVENUE

HELE ROAD

Matting only in place when secondary fencing placement used

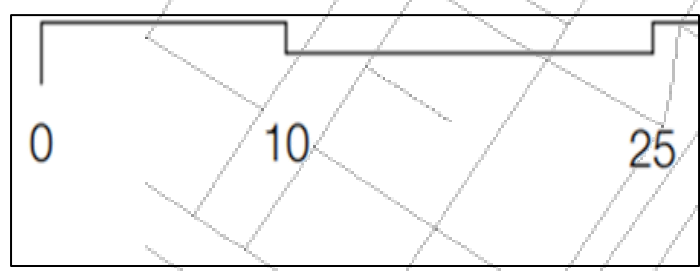
Secondary Fencing only in place during demolition of garage.

Hardstanding in place now and can be left in place during demolition of garage and through construction. Concrete in place must be lifted by hand or left and over surfaced. RPA probably not heavy in this area as open ground in garden. Fencing in yellow when needed.

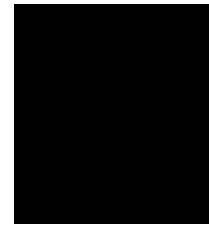
This fencing is sacrosanct and shall not be moved throughout all processes.

G2 Leylandii is wide and sensitive works will be needed to reduce crown width over planned garden area. This can be discussed with homeowner. Leylandii will not grow back once cut to brown.

Shrubs and Holly in garden, Holly too far back but RPA estimated to be outside construction area. Tarmac in situ on clients' land and so RPA will be towards open ground in garden.



Job No.: N1697
Project: Coventry Garage Sites
Client: [REDACTED]
Site: 229 Dillotford Avenue
Title: Design & Access Statement
Date: Rev A - April 2023
Written/ checked: EJ / RM



SITE 229 DILLOTFORD AVENUE

Design & Access Statement

229 DILLOTFORD AVENUE

Design & Access Statement



Introduction

This Design and Access Statement (DAS) has been prepared by Halsall Lloyd Partnership to support a full planning application submitted on behalf of [REDACTED] for a residential development on the former garage site at Dillotford Avenue, Coventry, CV3 5EB.

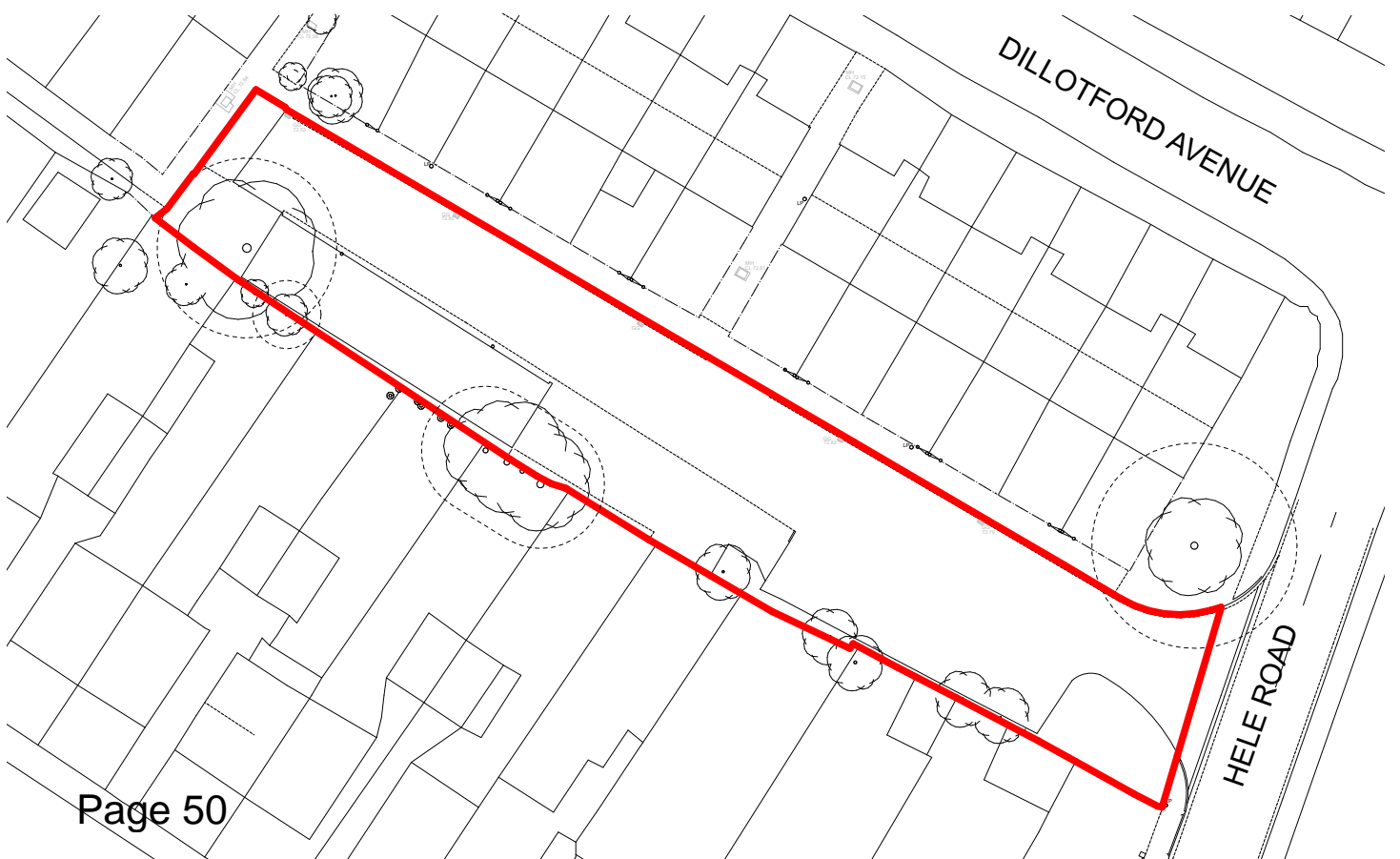
The site forms part of a large group of redundant garage sites which [REDACTED] are working to re-develop.

The development consists of entirely affordable homes that are much needed within the local area. [REDACTED] is helping to provide dwellings throughout the city in response to Coventry's growing population and additional need for affordable housing.

HLP have been instructed to analyse the site and its surrounding context for the development of affordable housing which is proposed to

be constructed using Modern Methods of Construction (MMC).

The proposed development provides 1no 4B8P two-storey house with 2 car parking spaces and 1no 5B8P two-storey house with 2 car parking spaces.



229 DILLOTFORD AVENUE

Design & Access Statement



Site Location and local amenities

As stated in Policy H3, housing developments are supported when situated in sustainable locations. For new developments, wherever possible: medical services must be within a 2km radius, a designated centre (policy R3) must be within 1.5km, both a primary school and indoor/outdoor sports facilities must be within 1km and a bus stop and open green space must be within 400m of the site.

All conditions stated above are met as shown in the site location plan below.

KEY

- Medical services
- Designated Centre (policy R3)
- Primary School
- Indoor/Outdoor sports facilities
- Bus stop
- Open green space

Site Location Plan 1:25,000



229 DILLOTFORD AVENUE

Design & Access Statement



Existing context

Dillotford Avenue is located within the residential suburb of Cheylesmore, approximately 1.6km (1mile) to the south of Coventry city centre.

The area surrounding the site is made up of mainly two storey dwellings which can be found neighbouring the site to the north, south and west.

The site is accessed from Hele Road, an adopted highway. An adopted footpath runs along the northern site boundary and other adopted footpaths connect the site with Dillotford Avenue to the north and Watercall Avenue to the west.

There are currently 9 garages on the site and a number of informal, unallocated parking spaces on the hard standing left after previously standing garages were demolished. All the garages are owned by [REDACTED] and have previously been leased to their tenants. The garages are currently empty, which has allowed the site to become overgrown in many places. As a result of the under use of the site, the garages are starting to fall into disrepair, creating an unsafe environment, particularly where there is a risk of asbestos containing materials becoming damaged.

Any garage tenants have been given the opportunity to relocate their garage to another Citizen site within the vicinity. This process has been completed and the site fenced off/ locked to prevent access.

There are no existing trees on the site, but four canopies overhang on the south west boundary.

The site is within flood zone 1 and does not have any ecological sensitivity or other planning constraints which may prevent development.



Site photographs (HLP)



Aerial image of site (Google Maps)



229 DILLOTFORD AVENUE

Design & Access Statement



The site was closed in December 2022. Fencing has been installed at the site entrance to control access. The site is closed unless access is specifically requested, and general parking on the site is not possible.



— Fencing position (approx)



229 DILLOTFORD AVENUE

Design & Access Statement



Additional site photographs (HLP)



229 DILLOTFORD AVENUE

Design & Access Statement



Design Proposals

The proposed development consists of 1no 4B8P two-storey house and 1no 5B8P two-storey house, to be constructed using a closed panel timber frame system. FFL to be 150mm above existing ground level.

They have been designed to be in keeping with the area, in terms of scale and housetypes. Two car parking spaces have been provided for its users, these are allocated to the side of Plot 1 in a front to back configuration and to the front of Plot 2 in a side to side configuration to suit the plot positions.

The garden depths are over 10 metres which means the SPG guidelines are met.

Access to the site is proposed to be retained as existing from Hele Road. The surrounding adopted footpaths are also proposed to remain the same, unaffected by the development.

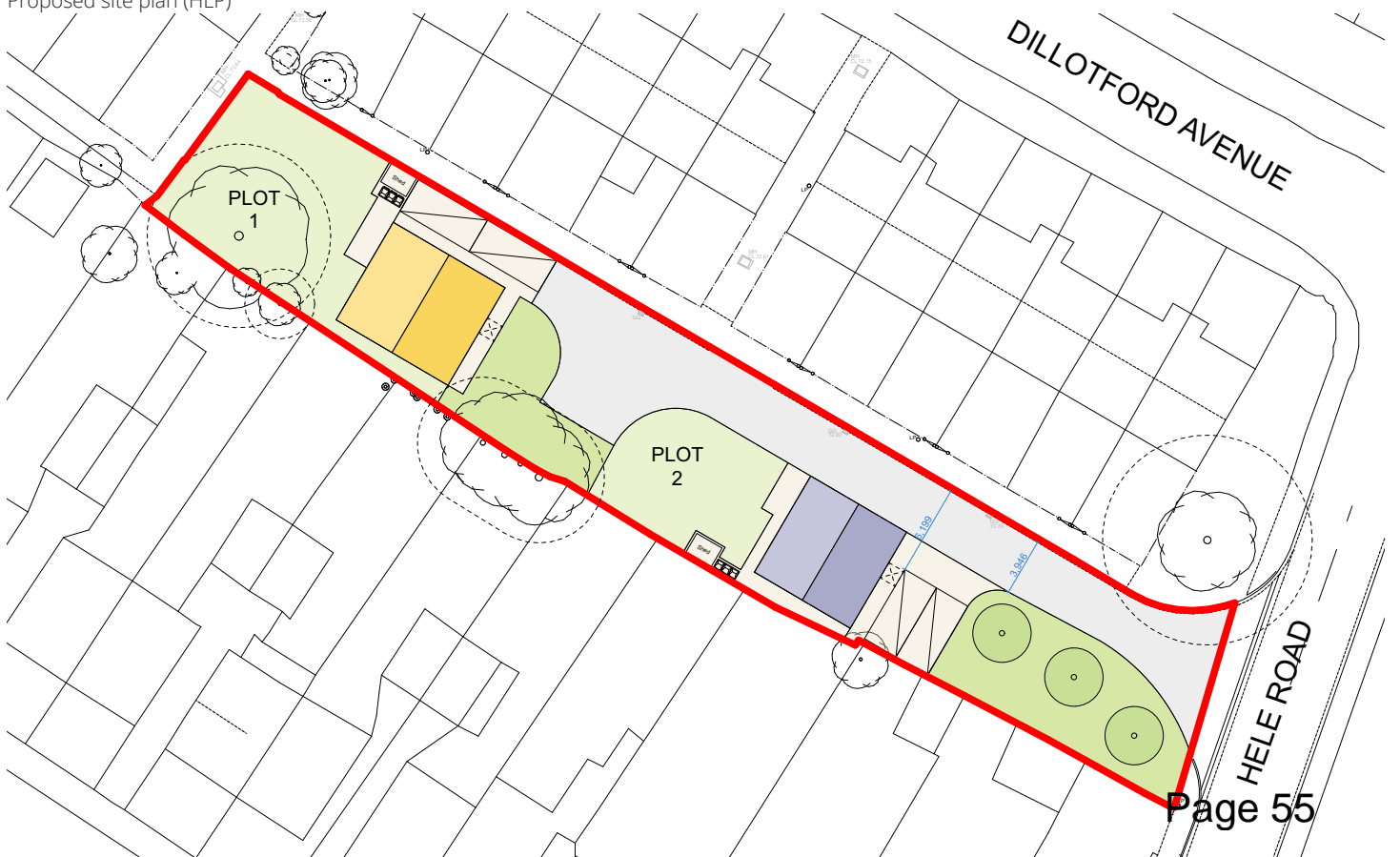
The site has been closed to vehicles and is no longer in use. Please refer to M-EC Report with regards to transport statement.

The width of the access road from Hele Road is sufficiently wide for the fire service to access the properties in case of an emergency.

Refuse collection is proposed to be on Hele Road.

EV charging points will be integrated within the proposal. Cycle storage will be provided for each dwelling as a shed which is situated in the private rear garden. Shed drawings and details have been provided as part of this application.

Proposed site plan (HLP)



229 DILLOTFORD AVENUE

Design & Access Statement



Materials

The proposed materials have been influenced by the surrounding context of the site. Features of adjacent and nearby buildings include cladding and brick.

The proposed materials include a red brick at ground and first floor. A horizontally clad white composite has been used as a feature panel at first floor.

Brick

Red brick to match surroundings

Horizontal cladding

White composite board

Concrete roof tile

Grey/ brown to match surrounding buildings

Windows

White uPVC

Composite front door

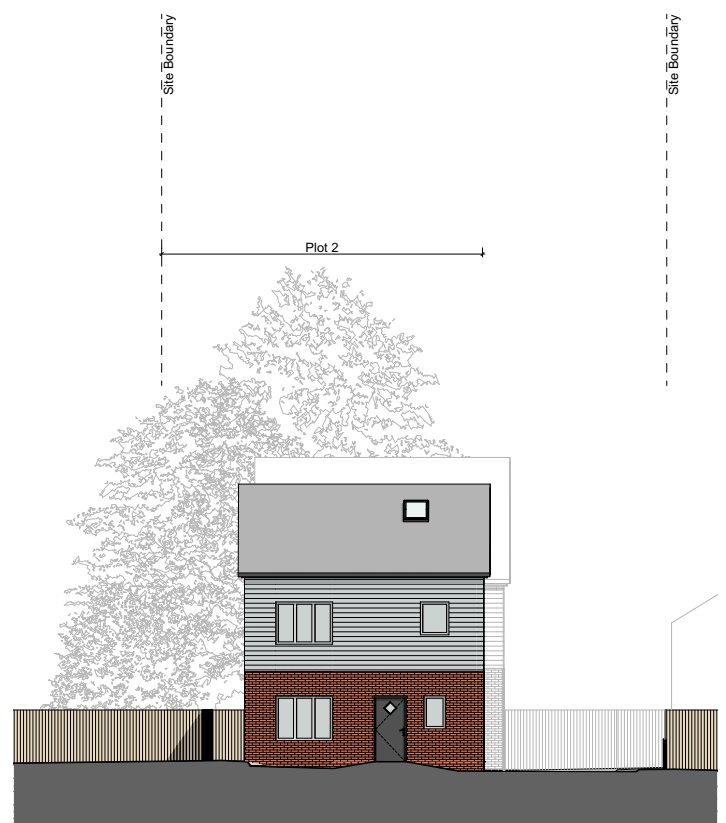
White uPVC

Rainwater goods

White uPVC

Soffit/ fascia

White uPVC



Planning Committee Report	
Planning Ref:	PL/2023/0001594/HHA
Site:	6 Rochester Road
Ward:	Earlsdon
Proposal:	Loft conversion with a dormer window
Case Officer:	Grace Goodman

SUMMARY

The application proposes to erect a dormer to the rear roof slope of a semi-detached house located within the Earlsdon Conservation Area. The proposal is considered to have an acceptable impact upon the neighbour's amenity and character of the main house.

Work on the dormer started prior to the submission of the planning application, however subsequently stopped. The application has gone through several revisions before a design that was suitable for the location and property was agreed upon. The part constructed dormer will be changed in accordance with the proposed plans.

BACKGROUND

The application has been recommended for approval. The application has received 2 public representations objecting to the proposal. The application has been called into Committee by a Ward Councillor.

KEY FACTS

Reason for report to committee:	Request of councillor
Current use of site:	Residential dwelling
Proposed use of site:	Residential dwelling with dormer

RECOMMENDATION

Planning Committee are recommended to approve planning permission subject to conditions.

REASON FOR DECISION

- The proposal is acceptable in principle.
- The proposal will not adversely impact upon the amenity of neighbours.
- The proposal will have an appropriate visual appearance and layout
- The proposal will not cause loss of light to nearest neighbours
- The proposal accords with Policies DE1, DS3, H5 & HE2 of the Coventry Local Plan 2017, together with the aims of the NPPF.

SITE DESCRIPTION

The application site is located on the northern side of Rochester Road close to a set of crossroads. The rear of the property is visible from Shaftesbury Avenue. The property is an Edwardian semi-detached red brick two storey house with slate tiled roof and is located within Earlsdon Conservation Area. The surrounding area is made up of similar style properties.

APPLICATION PROPOSAL

The flat roofed dormer is on the rear roof slope and proposed to be 2.85m in depth, 1.65m in height and a width of 5m. It is to be tile hung to match the existing roof.

PLANNING HISTORY

None

POLICY

National Policy Guidance

National Planning Policy Framework (NPPF) December 2023. The NPPF sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF increases the focus on achieving high quality design and states that it is "fundamental to what the planning and development process should achieve".

The National Planning Practice Guidance (NPPG) adds further context to the NPPF and it is intended that the two documents are read together.

Local Policy Guidance

The current local policy is provided within the Coventry Local Plan 2016, which was adopted by Coventry City Council on 6th December 2017. Relevant policy relating to this application is:

Policy DS3: Sustainable Development Policy

Policy DE1 Ensuring High Quality Design

Policy HE2: Conservation and Heritage Assets

Supplementary Planning Guidance/ Documents (SPG/ SPD):

SPD – Householder Design Guide

CONSULTATION

Statutory

None

Non-statutory

Objections have been received from:

- Conservation

Neighbour consultation

a site notice was posted, and a press notice was displayed in the Coventry Telegraph on 7th September 2023.

Two letters of objection have been received raising the following material planning considerations:

- a) Privacy issues
- b) Overlooking
- c) Impact on Neighbouring Amenity

Further notification letters sent 11th April 2024 after significant changes to the design were made. Two letters of objection were received raising concerns in regard to privacy and overlooking.

Within the letters received during both consultation periods, the following non-material planning considerations were raised, these cannot be given due consideration in the planning process:

- Impact value of neighbouring property

Councillor Kelly has asked that the application be considered by Planning Committee for determination for the following reasons

- Out of keeping with the rest of street scene
- Not appropriate in a conservation area
- Excessive overlooking of neighbouring gardens

Any further comments received will be reported within late representations.

APPRAISAL

The main issues in determining this application are principle of development, the impact upon the character of the area and heritage assets, the impact upon neighbouring amenity.

Principle of development

The National Planning Policy Framework, paragraph 11, states that “Plans and decisions should apply a presumption in favour of sustainable development. For Decision Making, this means:-

- c) approving development proposals that accord with an up-to-date development plan without delay; or
- d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless: i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.”

Impact on visual amenity

Policy DE1 of the Local Plan seeks to ensure high quality design and development proposals must respect and enhance their surroundings and positively contribute towards the local identity and character of an area.

The National Planning Policy Framework, paragraph 127 states that “Planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

The NPPF further states (at paragraph 130) “Permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions, taking into account any local design standards or style guides in plans or supplementary planning documents. Conversely, where the design of a development accords with clear expectations in plan policies, design should not be used by the decision-maker as a valid reason to object to development. Local planning authorities should also seek to ensure that the quality of approved development is not materially diminished between permission and completion, as a result of changes being made to the permitted scheme (for example through changes to approved details such as the materials used).”

The application site is located in a residential area where it is considered sustainable, acceptable and common to extend homes. However, it is important to ensure that extensions are in keeping with the design and character of the existing house and of the surrounding area and there will be no harmful impact on residential amenity. Materials, colours, textures and local distinctiveness should all be considered within the context of the local area in order to ensure a high-quality urban environment, in accordance with policies DE1 of the Coventry Local Plan and Supplementary Planning Guidance for Extending Your Home, unless relevant planning considerations indicate otherwise, including whether or not a proposal will cause:

- Loss of light;
- Overlooking and loss of privacy;
- Over-development of a site;
- Visual intrusion; and
- Impact on the street scene and character of the area

The extension is located on the rear roof slope of the property and will only be visible from the street scene from one location of Shaftesbury Road. Consequently, the dormer is not considered to have any significant adverse impact upon the street scene. The roof

of the property has an 'L' shape and the dormer as built follows this and has substantial massing. However, this application proposes to reduce the size of the dormer, therefore one side of the dormer is significantly set up from the eaves and this helps to reduce the scale of the dormer and ensure it is proportionate within the roof slope.

The windows have been reduced from long thin shaped windows to more standard shaped windows to reflect the proportions of the original windows below, which not only are more in keeping with the character of the area but also reduce the impact of overlooking over long thin shaped windows.

It is not uncommon to have dormers in the area and the overall scale, materials and design are in keeping with the size of the property and is considered to be acceptable.

Impact on residential amenity

The dormer is not considered to result in any more overlooking or result in more loss of privacy than results from the existing window arrangement to the rear. The windows within the dormer are proposed to be of a similar style. The dormer window is set up the roof slope and in from the side boundaries. No. 6 Rochester Road has a rear garden length of 13m, and the surrounding properties all have similar garden lengths therefore there is a minimum distance of at least 20m from the dormer to the nearest neighbours on Shaftesbury Avenue. This separation distance is in accordance with the guidance set out in the Householder Design Guide SPD. Therefore, given the position of the windows away from the side boundaries and the length of the rear garden it is not considered that this would result in any unacceptable overlooking or loss of privacy to neighbouring occupiers.

Heritage character of the area and Heritage Assets

Local Plan Policy HE2 reflects NPPF policy and states that development proposals involving heritage assets in general and listed buildings in particular, should acknowledge the significance of the existing building and the area by means of their siting, massing, form, scale, materials and detail.

The Conservation Officer has objected to the proposals and has requested that the dormer is separated into two smaller dormers. However, all other concerns that conservation raised such as the bulky size of the dormer and shape of windows have both been addressed within the current proposals by reducing the size of the dormer significantly and swapping out the proposed windows.

Whilst two smaller dormer windows would provide a better design solution the proposed, it is not considered to be necessary to split the dormer into two smaller size dormers to make the proposal acceptable. It is not considered that this would significantly reduce the impact upon the conservation area due to the limited visibility of the dormer from the street scene. On balance it is considered that the changes proposed provide an acceptable design which would result in less than substantial harm.

Highway considerations

As this is a householder application, it is considered that the proposal will not cause any impact on highway safety or result in the loss of on-site car parking.

The proposal is not considered to result in any concerns in relation to increased parking/traffic.

Other Matters:

Impacting value of neighbouring dwellings is not a material planning consideration.

Equality Implications

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states:-

(1) A public authority must, in the exercise of its functions, have due regard to the need to:

- a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
- b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
- c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

The equality implications of the development are as follows;

Conclusion

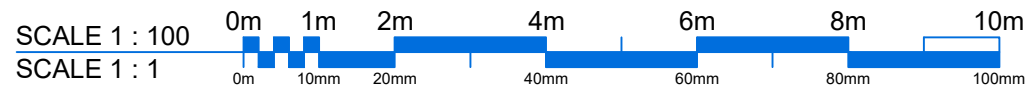
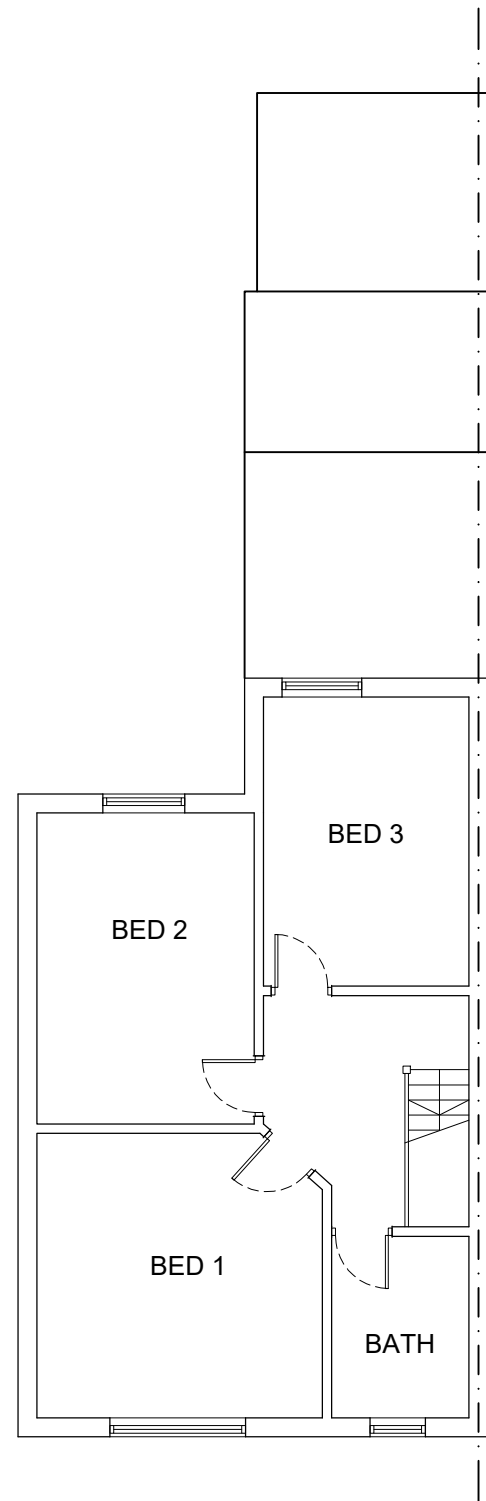
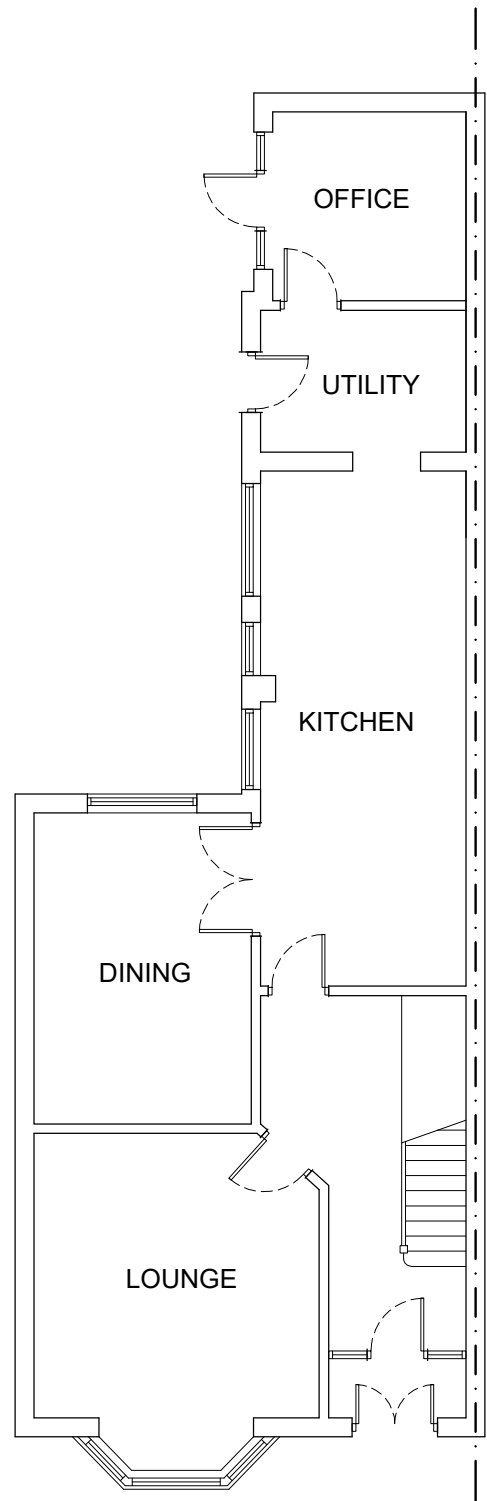
The proposed development is considered to be acceptable in principle and will not result in any significant impact upon neighbour amenity, or the character of the Conservation Area, subject to relevant conditions. The reason for Coventry City Council granting planning permission is because the development is in accordance with: Policies DE1, HE2 and H5 of the Coventry Local Plan 2017, together with the aims of the NPPF.

CONDITIONS / REASON

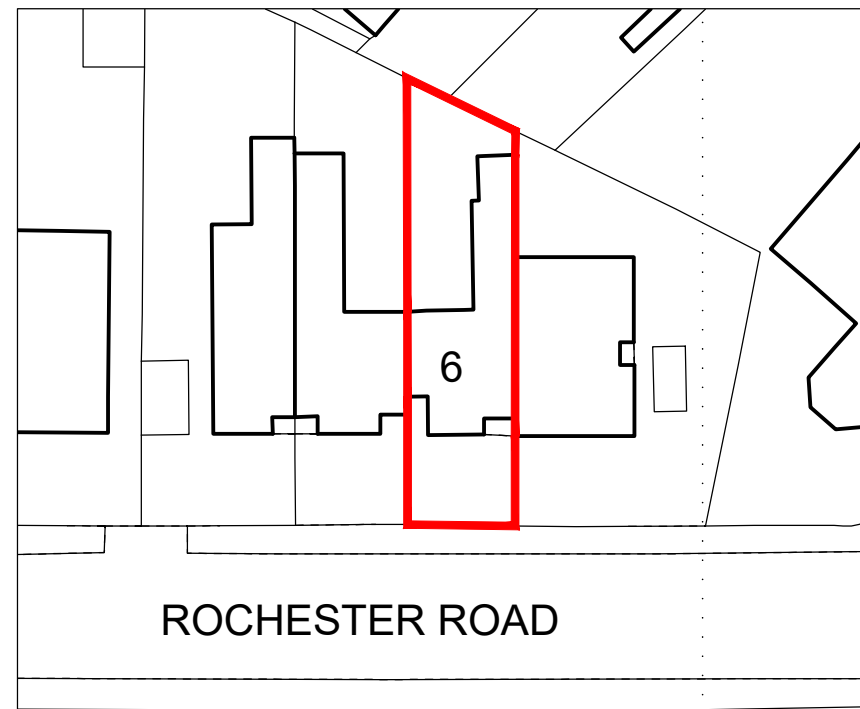
1.	The development hereby permitted shall be completed within 2 years from the date of this permission in full accordance with the approved plans and schedule of works.
Reason	<i>To ensure alterations are carried out in a timely manner and to ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy DE1 and HE2 of the Coventry Local Plan 2016</i>

<p>2.</p>	<p>The development hereby permitted shall be carried out in accordance with the following approved plans:</p> <p>Proposed elevations DWG PL12 Rev D Proposed floor plans DWG PL11 Rev D Existing Floors and Site Location Plans DWG A276 PL10</p>
<p>Reason</p>	<p><i>For the avoidance of doubt and in the interests of proper planning.</i></p>
<p>3.</p>	<p>Prior to their incorporation into the development hereby permitted, sample details of all facing and roofing materials shall be submitted to and approved in writing by the Local Planning Authority. These details shall be installed only in full accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.</p>
<p>Reason</p>	<p><i>To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2016.</i></p>

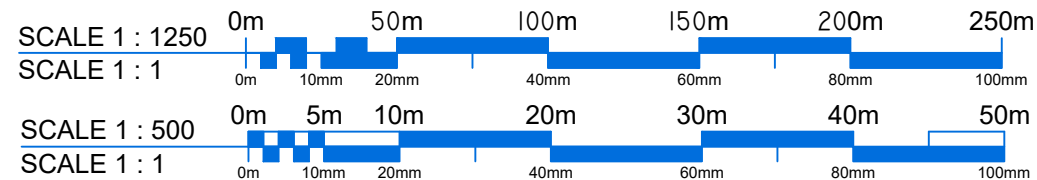
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LOCATION PLAN...1:1250

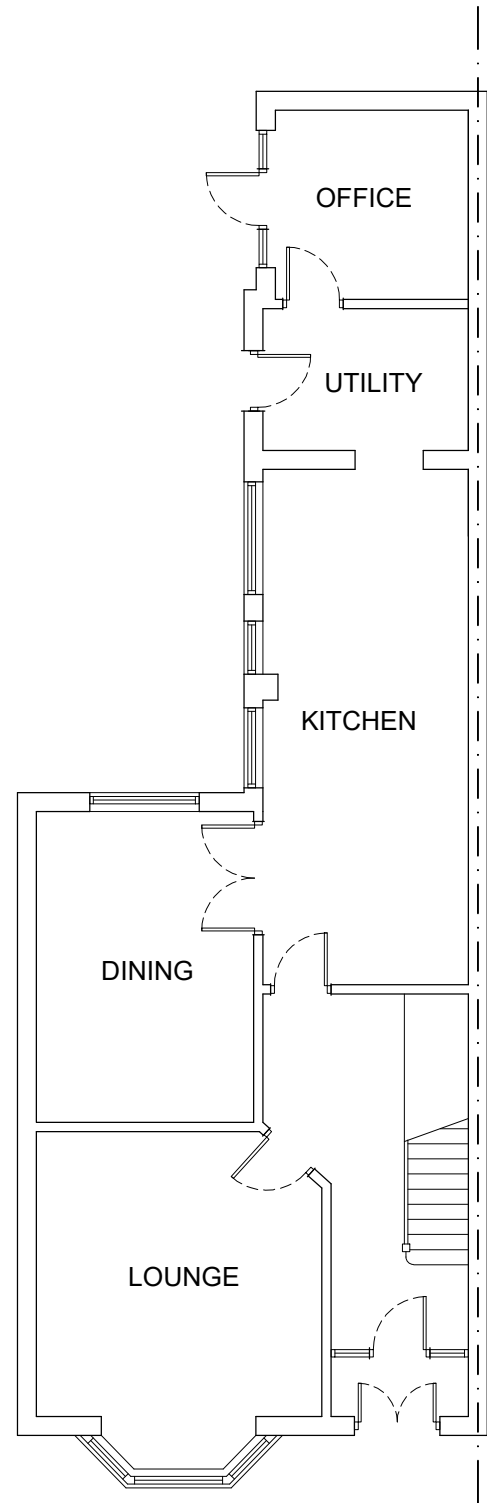


SITE PLAN...1:500

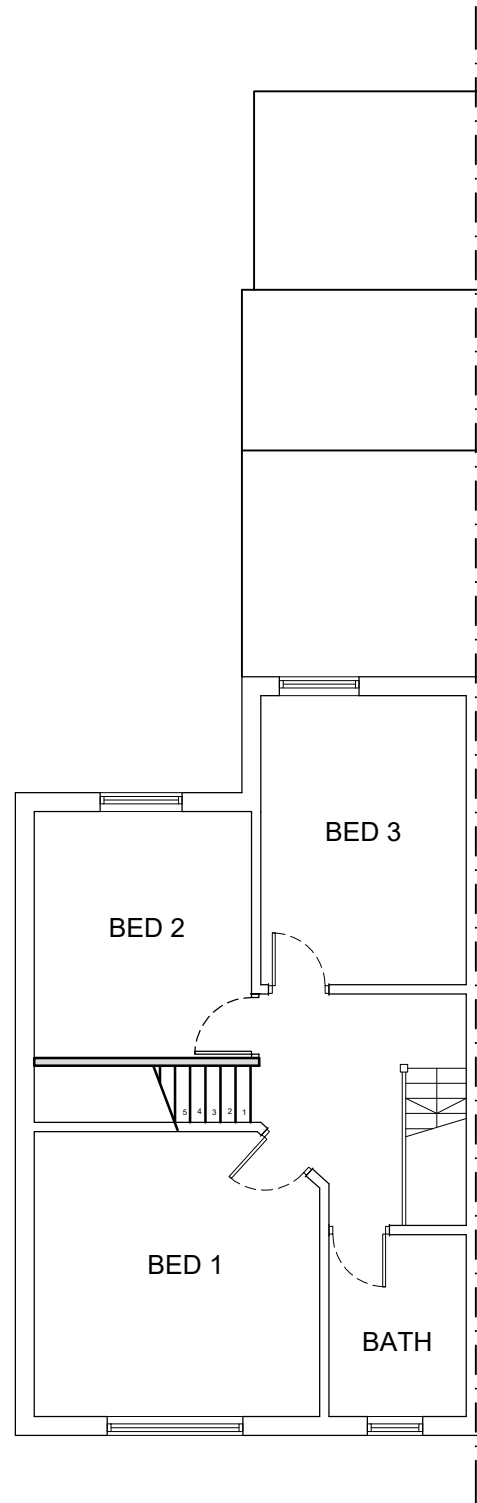


Project: Dormer Loft Conversion				Drawn: Si	
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Drawing title: Existing Plans			Date: July 2022		
Drawing Number:	A276	PL	10		

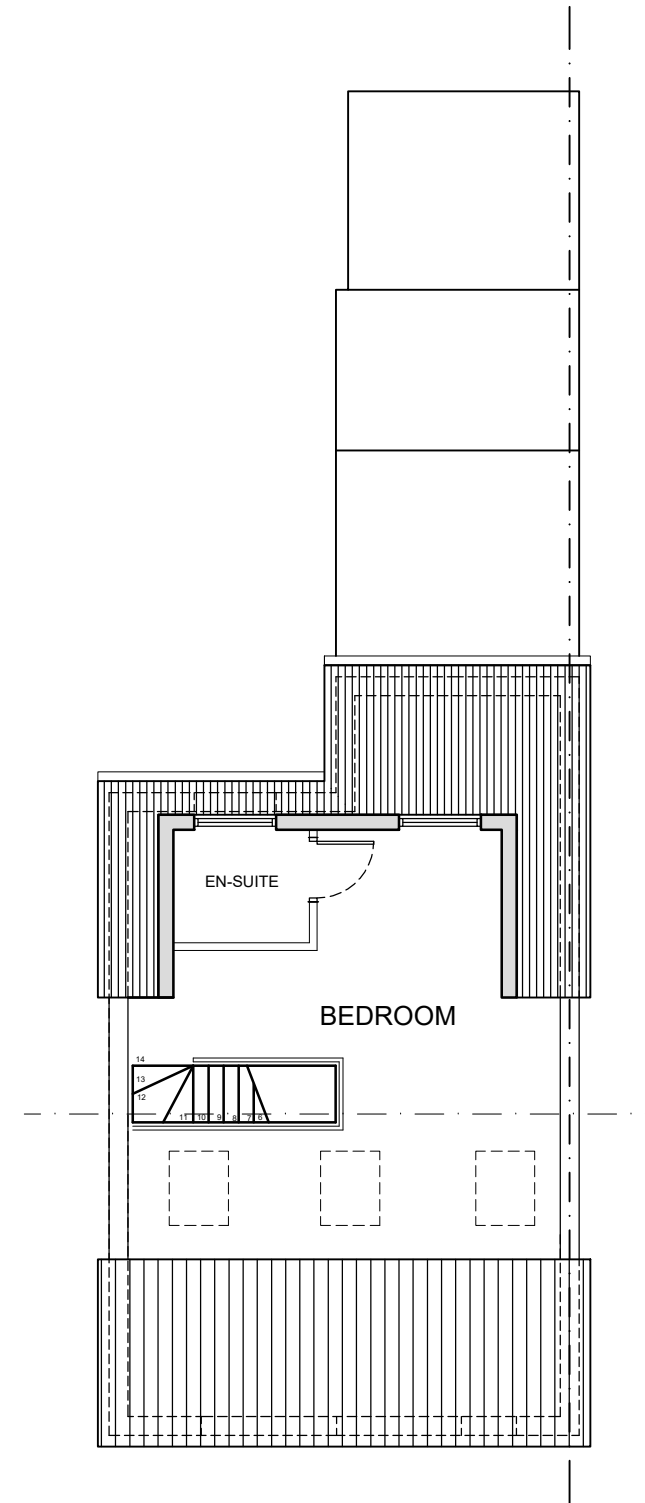
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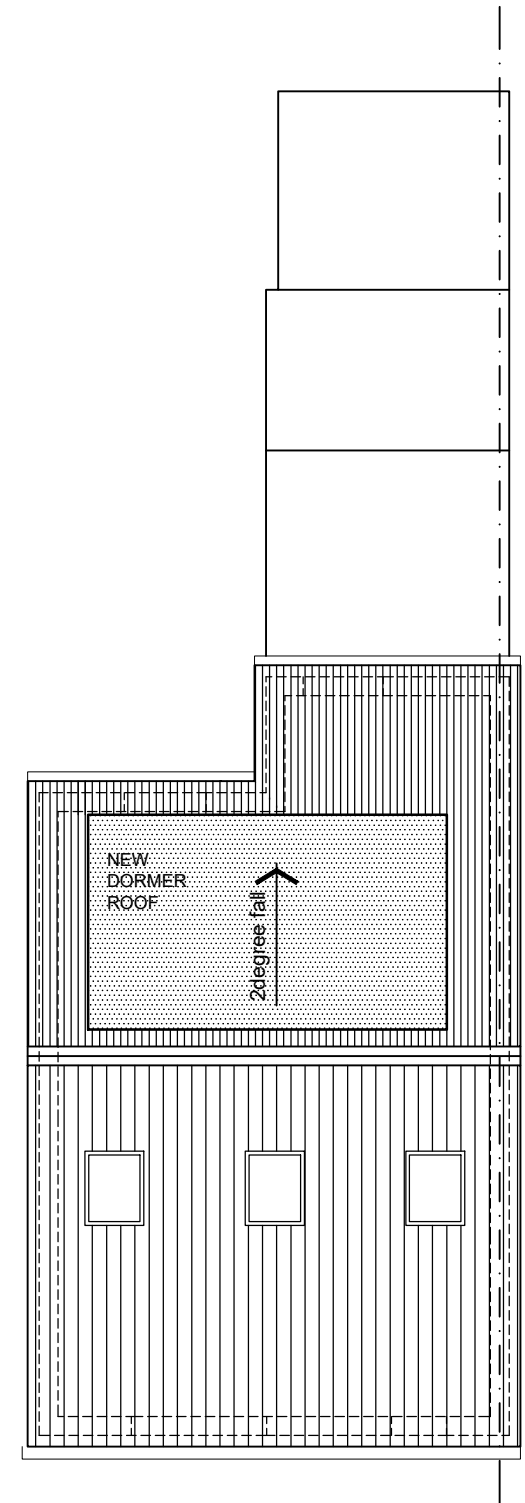
PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

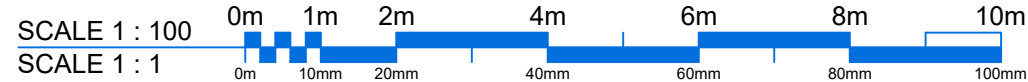


PROPOSED LOFT FLOOR PLAN



PROPOSED ROOF PLAN

Revision		
A	31.10.23	amended to LPA comments
B	12.02.24	amended to suit LPA SPG guidelines
C	28.03.24	LPA comments
D	07.04.24	minor amendments



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Project: Dormer Loft Conversion			
Site Address: 6 Rochester Road, Coventry, CV5 6AG			
Drawing title: Proposed Plans			Drawn: Si
			Scale: 1:100@a3
Drawing Number: A276	PL	11	Date: July 2022

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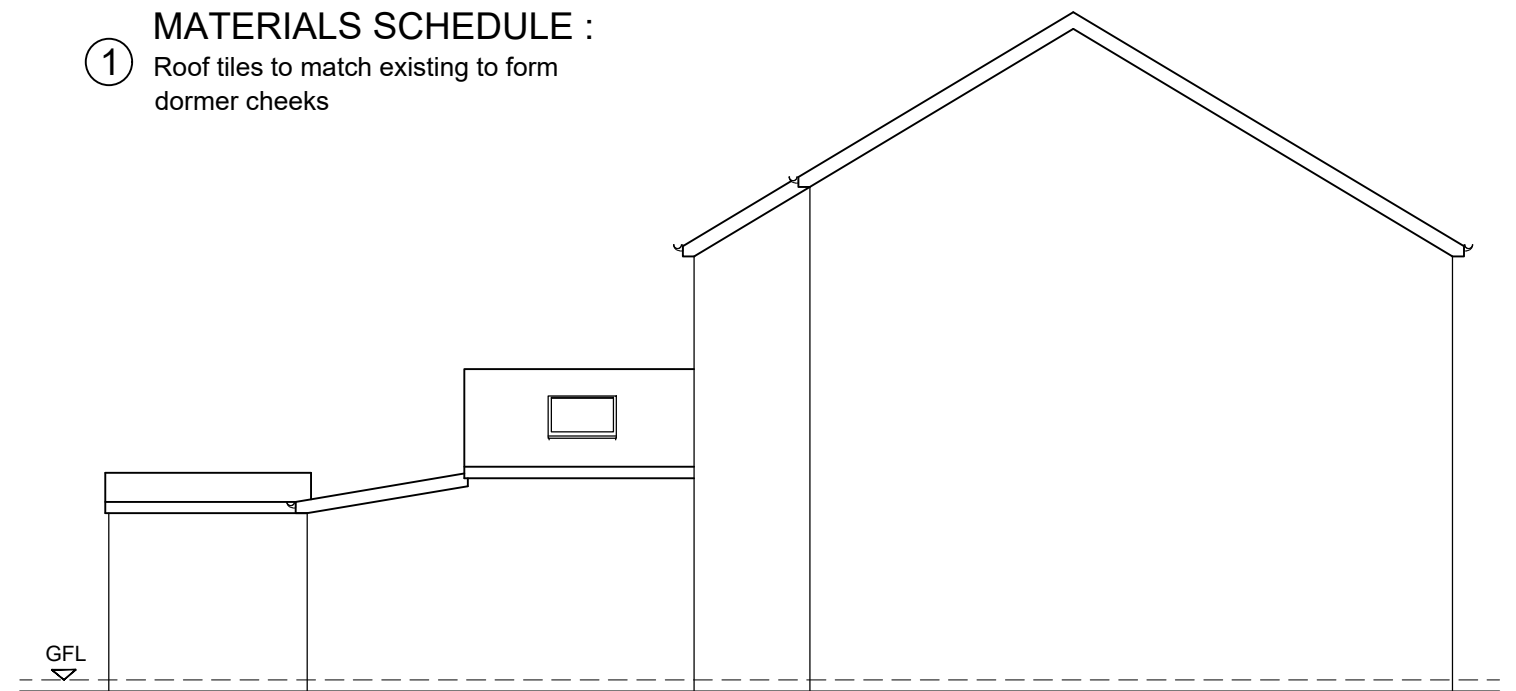


EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION

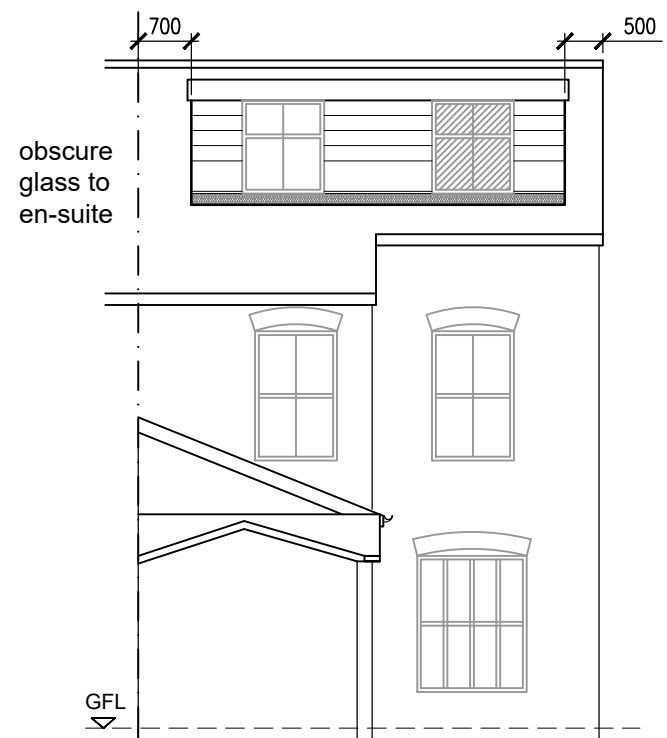
① MATERIALS SCHEDULE :
Roof tiles to match existing to form
dormer cheeks



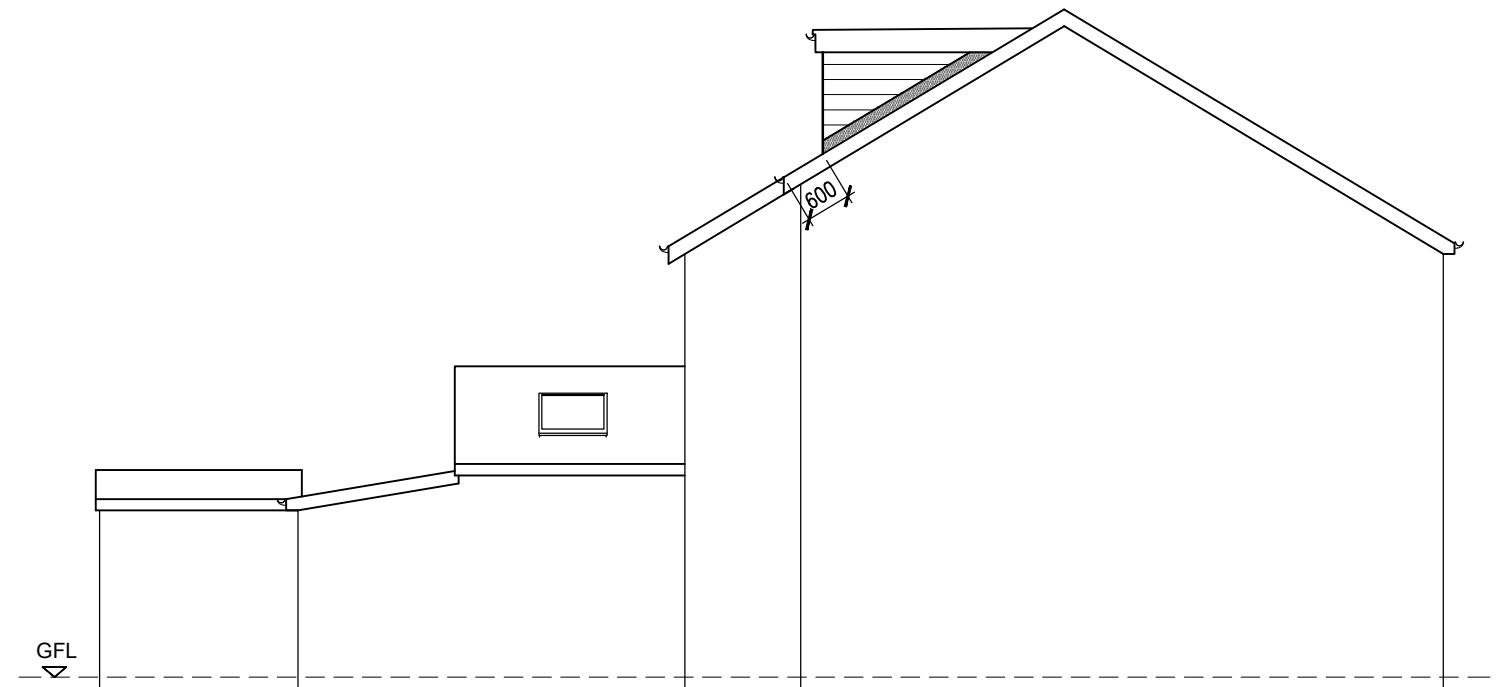
EXISTING SIDE ELEVATION



PROPOSED FRONT ELEVATION

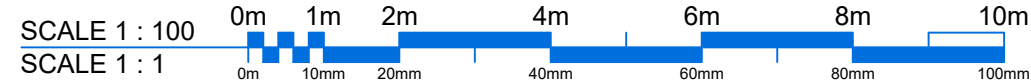


PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION

Revision	Date	Description
A	31.10.23	amended to LPA comments
B	12.02.24	amended to suit LPA SPG guidelines
C	28.03.24	LPA comments
D	07.04.24	minor amendments



Project: Dormer Loft Conversion	
Site Address: 6 Rochester Road, Coventry, CV5 6AG	
Drawing title: Proposed Elevations	Drawn: Si
	Scale: 1:100@a3
Drawing Number: A276 PL 12 D	Date: July 2022

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Planning Committee Report	
Planning Ref:	PL/2024/0000669/HHA
Site:	32 Macaulay Road Coventry CV2 5FB
Ward:	Lower Stoke
Proposal:	Erection of single storey rear extension
Case Officer:	Tom Cox

SUMMARY

This application is for the erection of a single storey rear extension at no.32 Macaulay Road. The proposed extension will project 4m beyond the rear elevation of the original dwelling house and seeks to infill a gap between an existing rear extension and the property's boundary with no.34 Macaulay Road. The extension is proposed to be flat roofed with a roof lantern.

This application is being presented before planning committee as the applicant is an Elected Member.

BACKGROUND

The property sits on the junction of Macaulay Road and Macdonald Road, it is within an established residential area with relatively modest size dwelling houses. Due to the corner plot nature of the site, the plot is larger than others in the immediate area. This is aided by the change the use of the land adjacent to the highway from open space to form part of the residential garden of no.32 (granted permission under application reference FUL/2011/0135). Several planning applications have been submitted for works to this property including the erection of front, side and rear extensions, as seen in the planning history listed below. The application site has all of its permitted development rights intact and there are no known site constraints which would impact these rights or the potential for development.

KEY FACTS

Reason for report to committee:	The applicant is an Elected Member.
Current use of site:	Residential
Proposed use of site:	Residential

RECOMMENDATION

Planning Committee are recommended to grant planning permission subject to conditions.

REASON FOR DECISION

- The proposal is acceptable in principle.
- The proposal will not adversely impact upon the amenity of neighbours or cause harm to the visual amenity of the street scene or to the character and appearance of the dwelling.
- The proposal accords with Policies: DE1 and H5 of the Coventry Local Plan 2017, the Householder Design Guide SPD and the aims of the NPPF.

SITE DESCRIPTION

The application site occupies a corner plot on the junction of Macaulay Road and Macdonald Road. The property has seen several alterations over the years including the erection of front, side, and rear extensions. The land adjacent to highway has also been incorporated into the residential garden which has enlarged the overall plot size. The property has all of its permitted development rights intact and there are no known site constraints which would impact on the potential for development on site.

APPLICATION PROPOSAL

The application is for the erection of a 4m rear extension which will infill the space between the existing two storey extension and the property's boundary with no.34 Macaulay Road. The proposed extension will have a flat roof with a roof lantern, no other alterations are proposed as part of this application.

PLANNING HISTORY

There have been a number of historic planning applications on this site; the following are the most recent/relevant:

Application Number	Description of Development	Decision and Date
S/1985/0646	Dining room and shower room extension to dwelling house Historic Reference: G/C/27003/A	Granted – 08.08.1985
S/1972/1208	Erection of a storm porch Historic Reference: 27003	Granted – 06.07.1972
L/1996/0436	First floor bedroom extension with en-suite shower Historic Reference: 27003/C	Granted - 26.07.1996
R/2004/1765	Single storey extension to front. Historic Reference: 27003/D	Granted – 16.09.2004
FUL/2010/1012	Change of use of open space to extended garden area and erection of boundary treatment	Refused – 22.12.2010
FUL/2011/0135	Change of use of open space to extended garden area and erection of boundary treatment (re submission of FUL/2010/1012)	Granted – 25.03.2011
HH/2015/3438	Single storey side extension	Granted – 27.11.2015

POLICY

National Policy Guidance

National Planning Policy Framework (NPPF) December 2023. The NPPF sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF increases the focus on achieving high quality design and states that it is "fundamental to what the planning and development process should achieve".

The National Planning Practice Guidance (NPPG) adds further context to the NPPF and it is intended that the two documents are read together.

Local Policy Guidance

The current local policy is provided within the Coventry Local Plan 2017, which was adopted by Coventry City Council on 6th December 2017. Relevant policy relating to this application is:

Policy DE1 Ensuring High Quality Design

Policy H5: Managing Existing Housing Stock

Supplementary Planning Guidance/ Documents (SPG/ SPD):

SPD Householder Design Guide

CONSULTATION

The ecology officer has been consulted concerning this proposal, however, they have raised no objections, subject to an appropriate condition regarding biodiversity features. These comments will be assessed later in this report. No other consultees have been consulted.

Neighbour consultation

Adjoining neighbours have been notified in accordance with the communications record. No comments have been received.

APPRAISAL

The main issues in determining this application are principle of development, the impact upon the character of the area and the impact upon neighbouring amenity.

Principle of development

The National Planning Policy Framework, paragraph 11, states that "Plans and decisions should apply a presumption in favour of sustainable development. For Decision Making, this means:-

- c) approving development proposals that accord with an up-to-date development plan without delay; or
- d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless: i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or ii. any

adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.”

In this instance the principle of development is considered to be acceptable under Policy H5 of the Coventry Local Plan. The policy states that, where appropriate, the existing housing stock will be renovated and improved, in association with the enhancement of the surrounding residential environment to meet local needs. This is consistent with Paragraph 135 of the NPPF (2023) which seeks to ensure development proposals exhibit a positive character and are well designed in terms of quality and appearance. It is also noted that the site has previously been granted planning permission for extensions. Whilst the principle of residential extensions in a residential area is therefore established, the relevant material planning considerations are discussed within the succeeding sections of this report.

Impact on the character of the area

Policy DE1 of the Coventry Local Plan seeks to ensure high quality design and development proposals must respect and enhance their surroundings and positively contribute towards the local identity and character of an area.

In considering the design of the extension, as already noted, extensions should: *‘respect the form, scale, architectural style and materials of the original building.’* The proposed extension will be flat-roofed, with a roof lantern, the original proposal did intend to have two elements, with a small mono pitch section adjacent to the boundary with no.34. The proposal was amended as the officer considered that the original proposal would have resulted in a contrived design, which would not have positively contributed to the character of the area.

The design is considered to be an acceptable response to the existing dwelling house, and furthermore, due to its positioning within the plot, will not be visible from any public viewpoints. It is therefore considered that the proposed development would be acceptable and in accordance with Policies DE1 and H5 of the Coventry Local Plan.

Impact on neighbouring amenity

In considering this application, reference should be made to the Local Planning Authority’s Householder Design Guide SPD. With due consideration to this document, one of the key issues in establishing the principle of development, is the impact on neighbouring amenity. With references to single storey rear extensions, the SPD states that the depth of the extensions should not exceed:

“a projection of 4m along the boundary or impinge an imaginary 45-degree line taken from the centre of the neighbour’s closest habitable rear facing window (whichever gives the greater depth) subject to ground levels and orientation.”

The depth of the proposed extension is 4m, this has been reduced to ensure that it accords with guidance outlined above. It is noted that no.34 has an existing set of French doors which would serve a habitable room, due to their proximity to the boundary with no.32, the 45-degree sightline of this window would be breached. However, due to the

depth of the extension, the proposal would not result in an unacceptable level of harm to the neighbouring property and it accords with the guidance.

The property is south facing and there are no significant ground level changes which would exacerbate any impact on neighbouring amenity. It is also noted that the boundary treatment consists of a high-level fence which would block out large views of the extension from the neighbouring property and be in closer proximity to the neighbour's window. The principle of development is therefore considered to be acceptable and in accordance with the guidance laid out in the Householder Design Guide SPD.

Other Matters

There is an existing mature hedgerow along the site boundary with no. 34. The Council's Ecology Officer was therefore consulted to consider any impact on biodiversity. However, as confirmed on site, the hedgerow is set off from the existing rear elevation of these properties, such that it would not be impacted by the proposed extension.

The extension will be erected on an area which is primarily hardstanding, with a small area of amenity grassland also lost. Due to the loss of biodiversity, the ecology officer has requested this loss is offset through the provision of biodiversity features such as planting of native shrubbery or other appropriate features, details of these should be submitted to the Local Planning Authority, prior to their incorporation into the development and there is a condition imposed to secure this. There are no other matters to consider in the determination of this application.

Equality Implications

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states:-

- (1) A public authority must, in the exercise of its functions, have due regard to the need to:
- a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
 - b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
 - c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

Conclusion

The proposed development is considered to be acceptable in principle and will not result in any significant impact upon neighbour amenity, visual amenity or ecology subject to relevant conditions. The reason for Coventry City Council granting planning permission is because the development is in accordance with: Policies DE1 and H5 of the Coventry Local Plan 2017, Householder Design Guide SPD, together with the aims of the NPPF.

CONDITIONS/REASONS

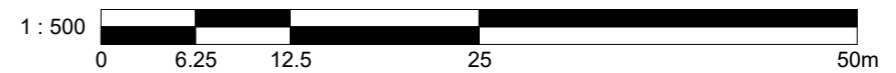
1.	The development hereby permitted shall begin not later than 3 years from the date of this decision.
Reason	<i>To conform with Section 91 of the Town and Country Planning Act 1990 (as amended)</i>
2.	The development hereby permitted shall be carried out in accordance with the following approved plans: Proposed Floor Plans DWG 2404-2 REV G; Proposed Elevations DWG 2404-4 REV G; Proposed Sections 2404-5 REV G; Location and Block Plan DWG 2404-6 REV G;
Reason	<i>For the avoidance of doubt and in the interests of proper planning</i>
3.	Other than where specified on the approved plans, no facing materials shall be used other than materials similar in appearance to those used predominantly in the construction of the exterior of the existing building.
Reason	<i>To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
4.	Prior to the first occupation of the development hereby permitted details of biodiversity features e.g. planting of native shrubbery shall be submitted to and approved in writing by the Local Planning Authority. These features shall be fully installed in strict accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF.</i>



LOCATION PLAN



BLOCK MAP



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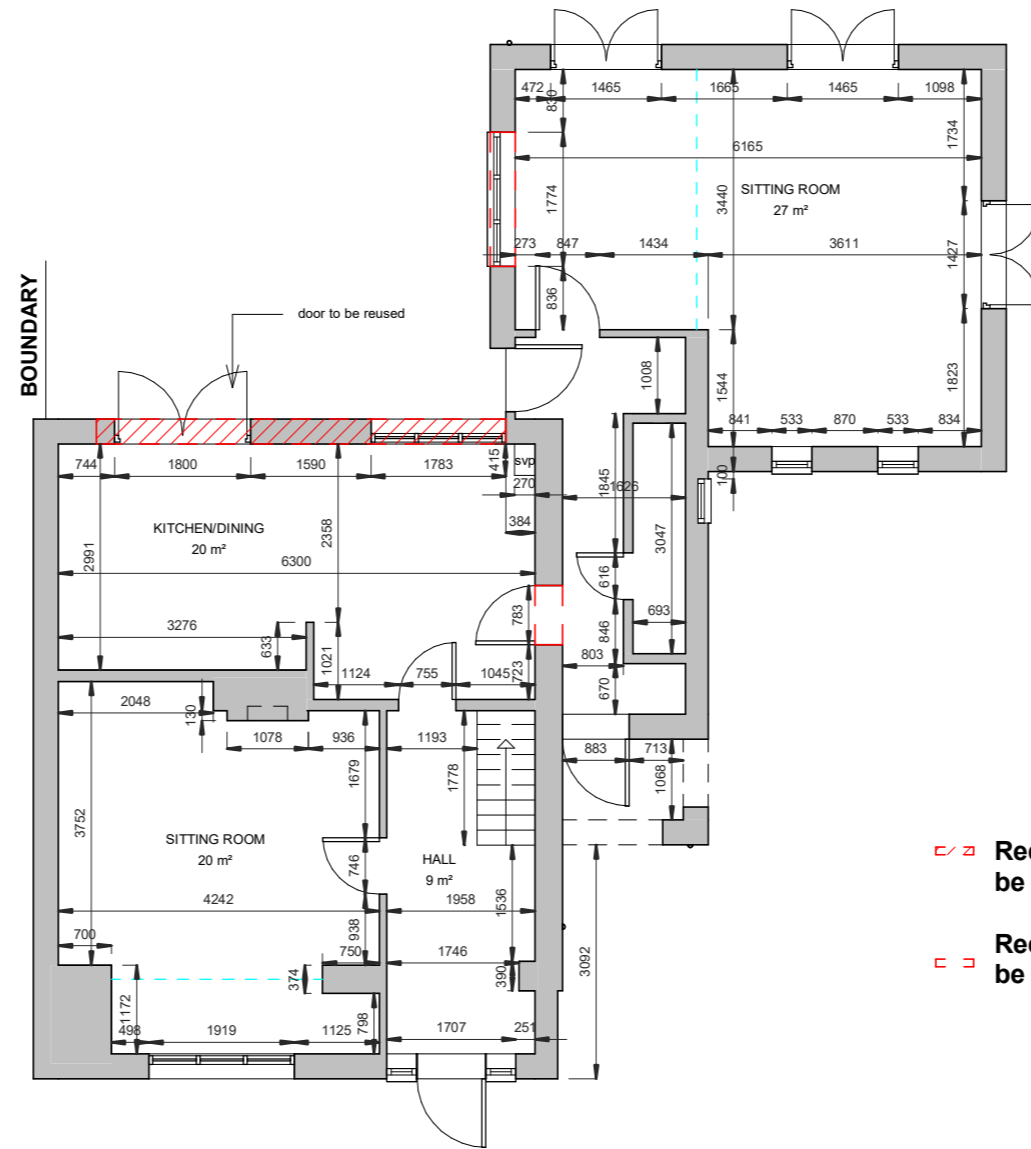
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MIKE CANO

DRAWN BY:
UGWU KINGSLEY

DRAWING NO:
2404-6

SCALE:

REV: G



▨ Red hatching denotes parts to be demolished
- - - Red dashing denotes parts to be closed off

EXISTING GROUND FLOOR PLAN



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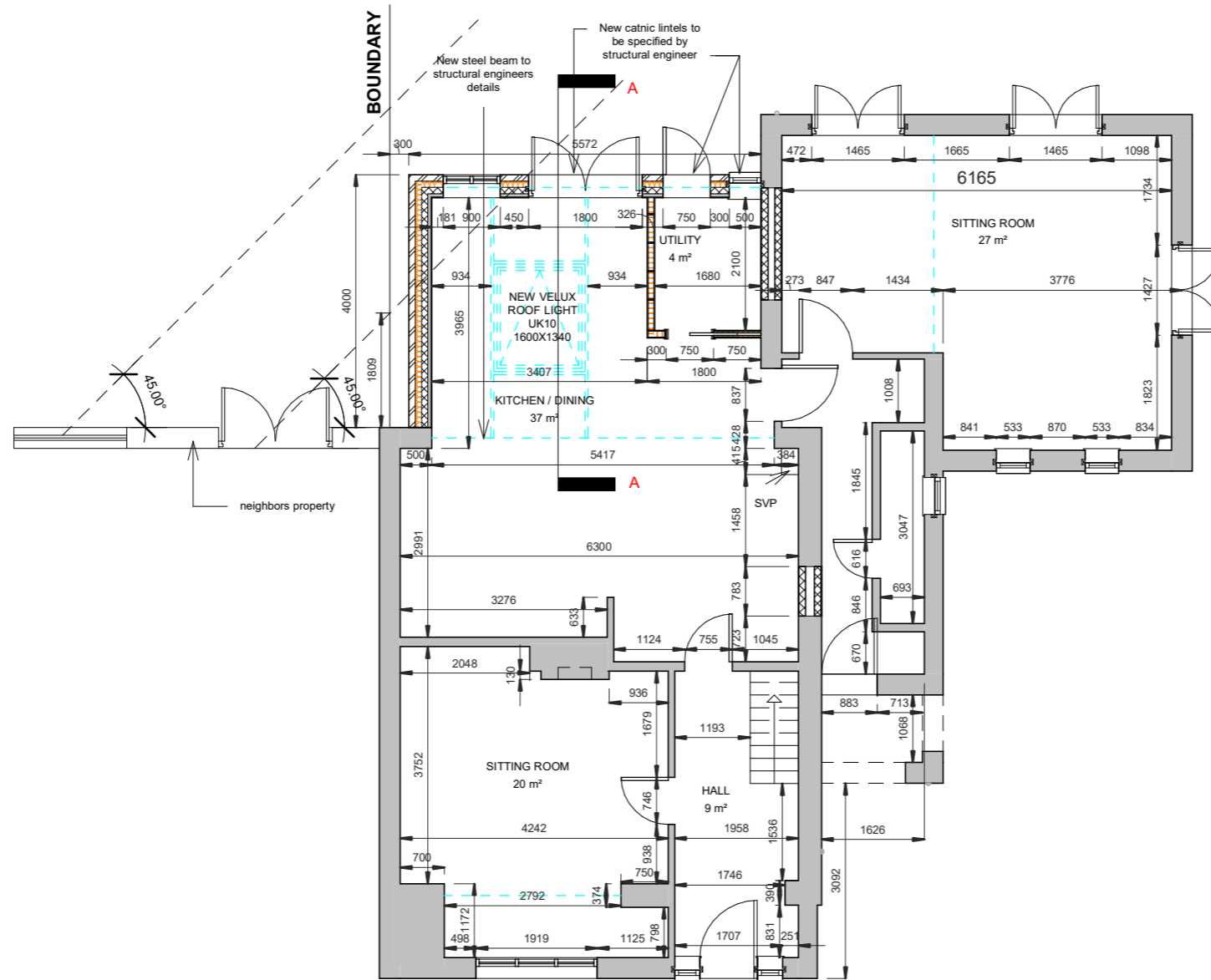
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PROPOSED GROUND FLOOR PLAN



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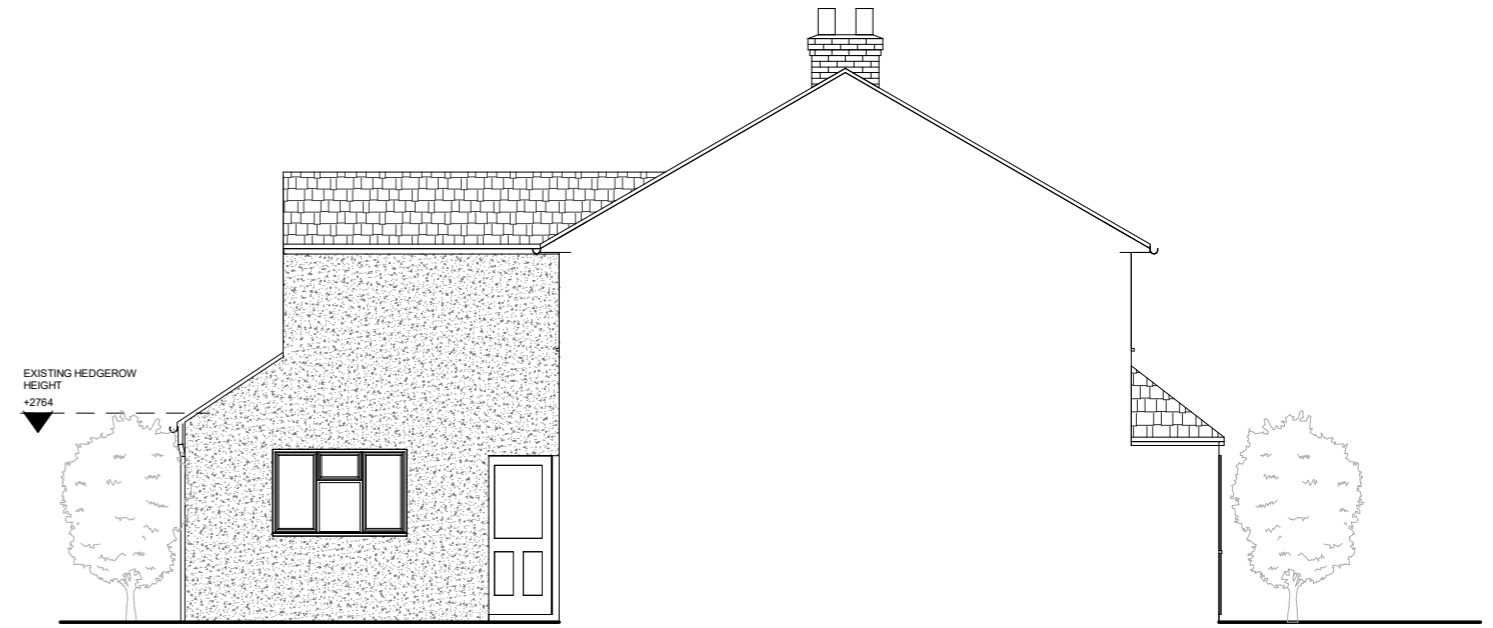
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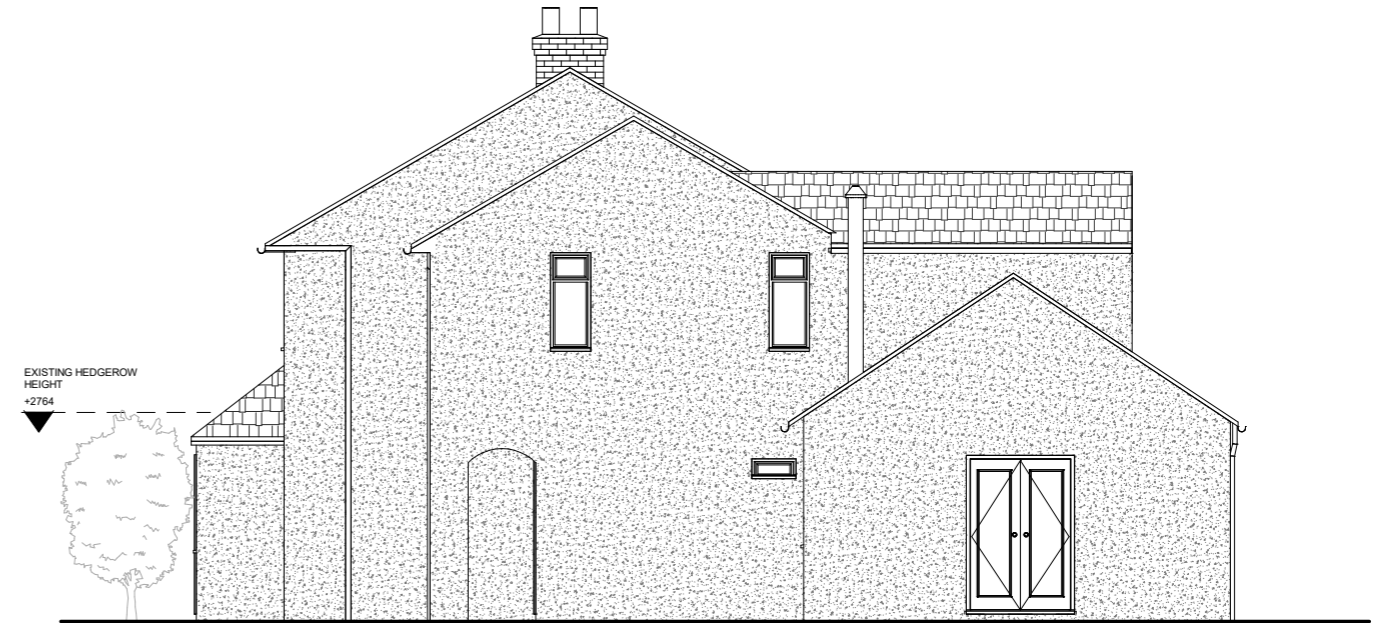
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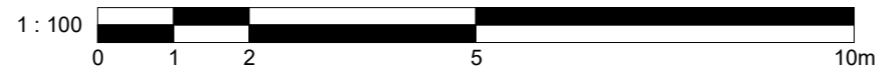
EXISTING SIDE ELEVATION



EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION



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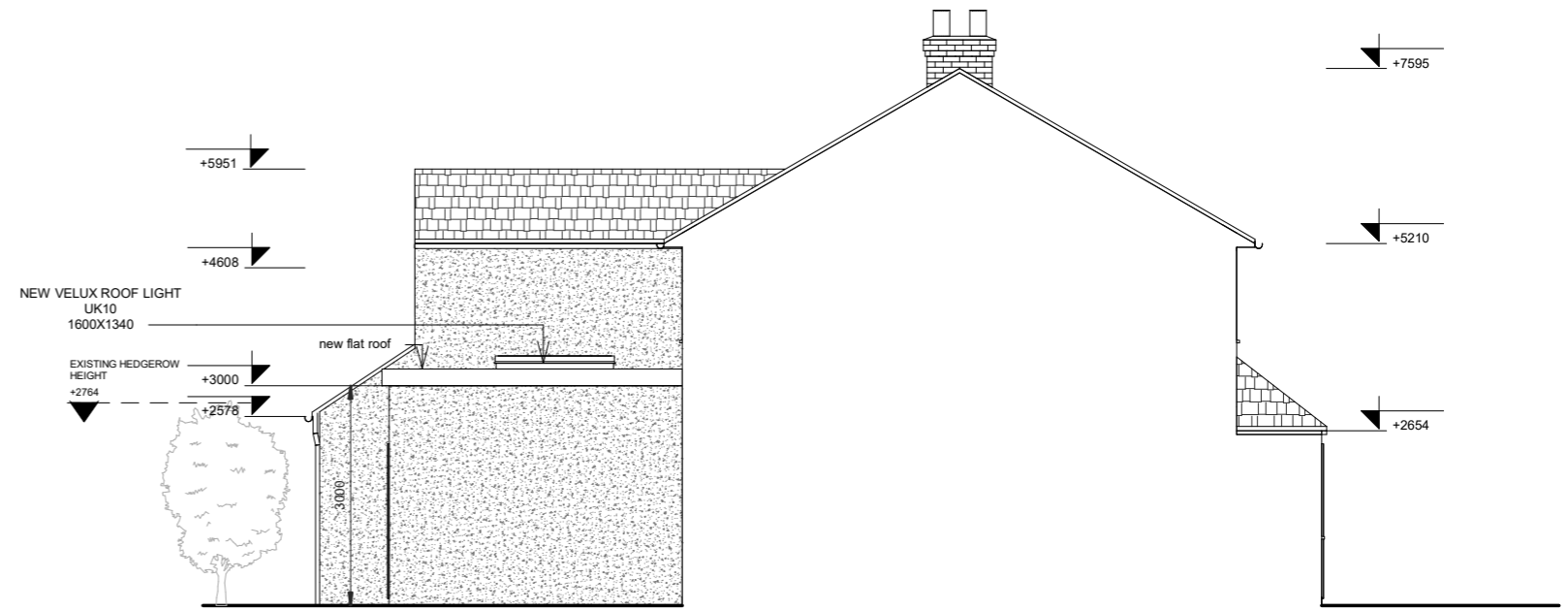
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PROPOSED FRONT ELEVATION



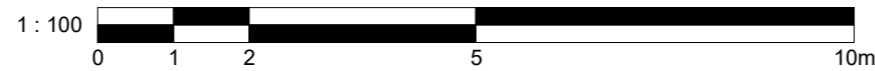
PROPOSED SIDE ELEVATION



PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION



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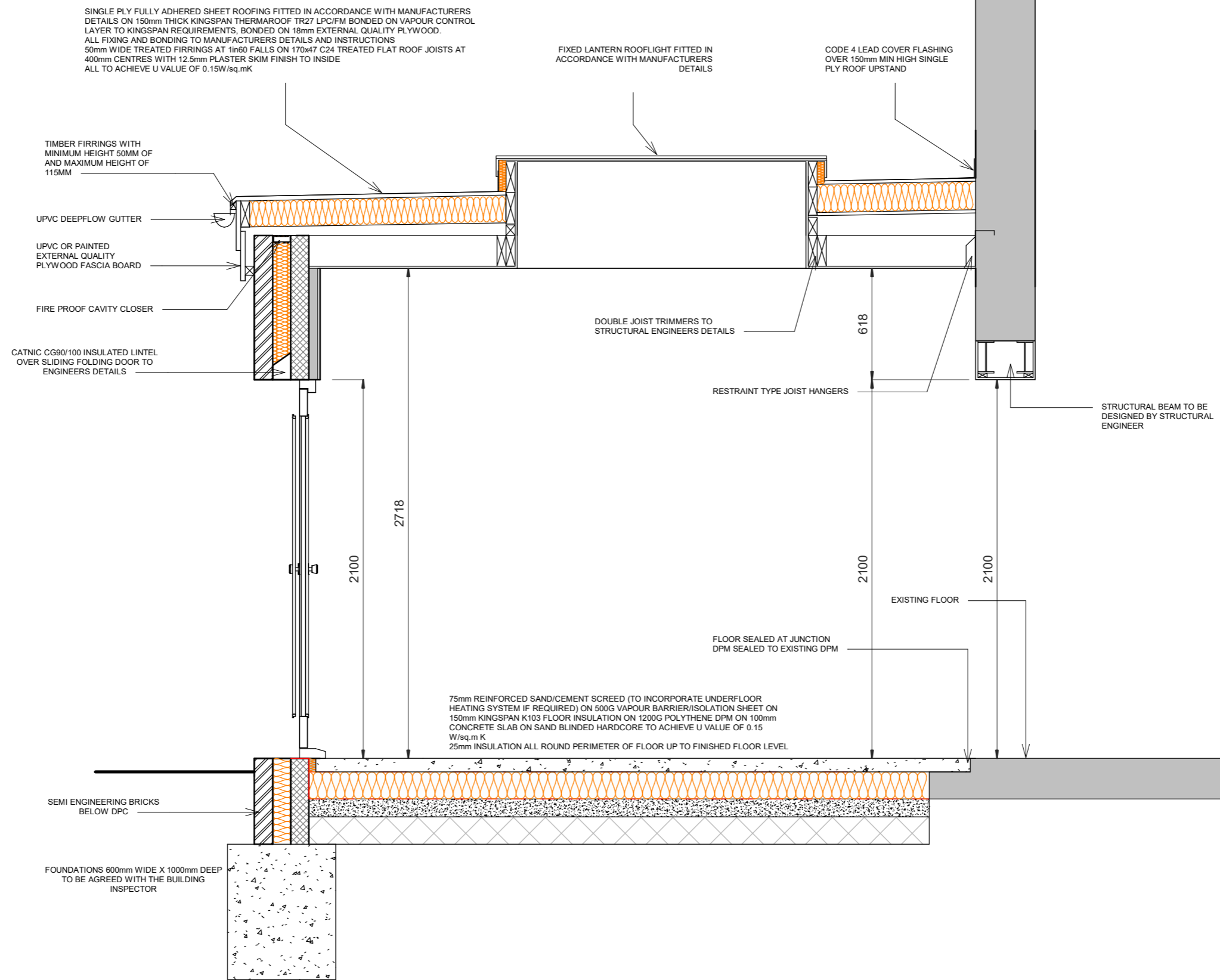
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SECTION A-A

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